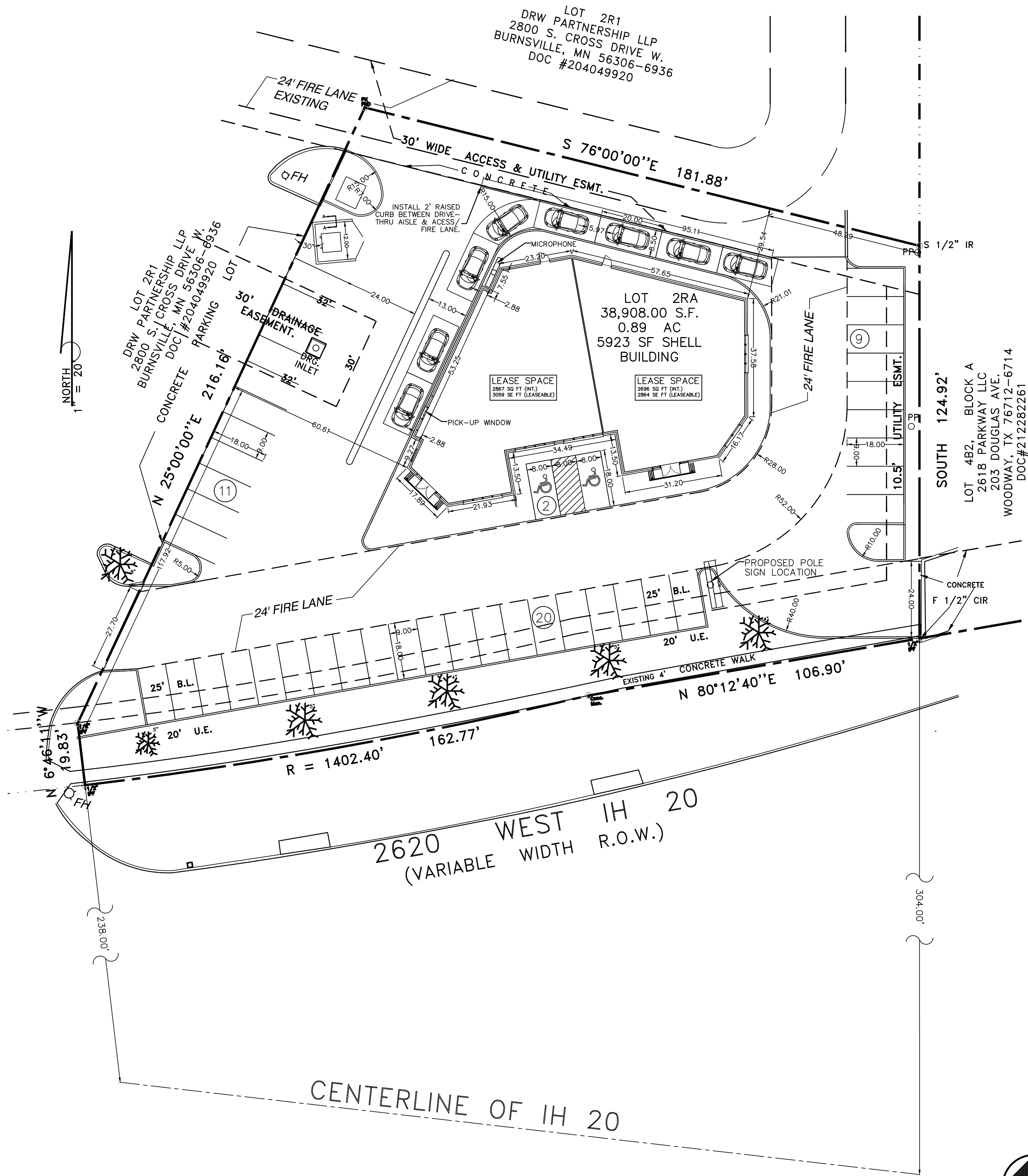
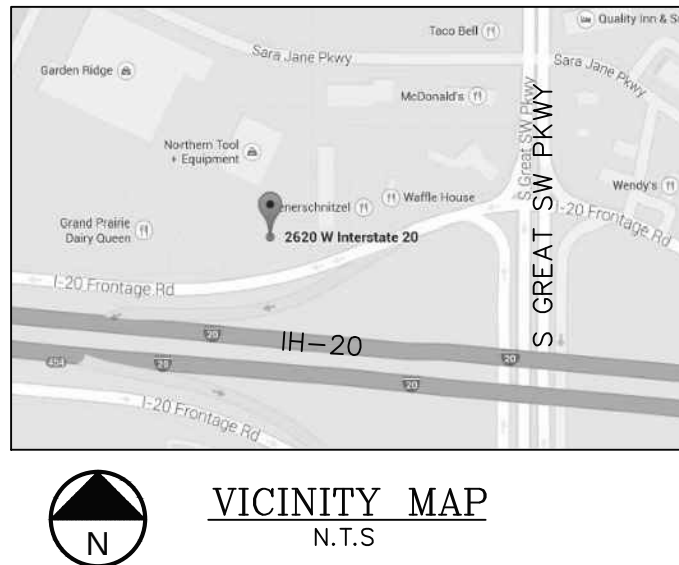




| SITE DEVELOPMENT DATA                                        |          |                   |
|--------------------------------------------------------------|----------|-------------------|
| ZONING FOR ZONE GR                                           |          |                   |
| DENSITY                                                      | N/A      | BLDG PER ACRE     |
| EXTERIOR MASONRY CONTENT REQUIRED                            | 100      | %                 |
| PERCENTAGE OF LANDSCAPE REQUIRED                             | 5        | % MIN.            |
| MAX. BUILDING HEIGHT                                         | 19       | FEET TO RIDGELINE |
|                                                              | 14       | FEET TO PLATE TOP |
| MAX. FLOOR AREA RATIO                                        | 35:1     | (FAR) RATIO       |
| AREAS                                                        |          |                   |
| TOTAL SITE ACRES                                             | 0.89     | ACRES             |
| TOTAL SITE SQ. FT. (SF)                                      | 38,908   | SF                |
| BUILDING FOOTPRINT                                           | 5923     | SF                |
| IMPERVIOUS COVER                                             |          |                   |
| BUILDINGS                                                    | 5923     | SF                |
| PAVING                                                       | 24509    | SF                |
| SIDEWALK/HARDSCAPE                                           | 3200     | SF                |
|                                                              | 33632    | TOTAL SF          |
| BUILDING SETBACKS                                            |          |                   |
| FRONT                                                        | 25       | FT                |
| REAR                                                         | 0        | FT                |
| SIDE                                                         | 10       | FT                |
| INTERIOR                                                     | 0        | FT                |
| PARKING SUMMARY                                              |          |                   |
| TYPE OF PARKING                                              | REQUIRED | PROVIDED          |
| RESTURANT-DINING/WAIT AREAS (2000 SF)                        | 20       | 25                |
| RETAIL/PERSONAL SERVICE (2696)                               | 10       | 15                |
| TOTAL REQUIRED PARKING SPACES (INCLUDING ACCESSIBLE PARKING) | 30       | 40                |
| ACCESSIBLE PARKING                                           | REQUIRED | PROVIDED          |
| ACCESSIBLE PARKING (INCLUDING 1 VAN ACCESSIBLE)              | 2        | 2                 |



PROPOSED PAVEMENT CONSTRUCTION:

PARKING AREAS:

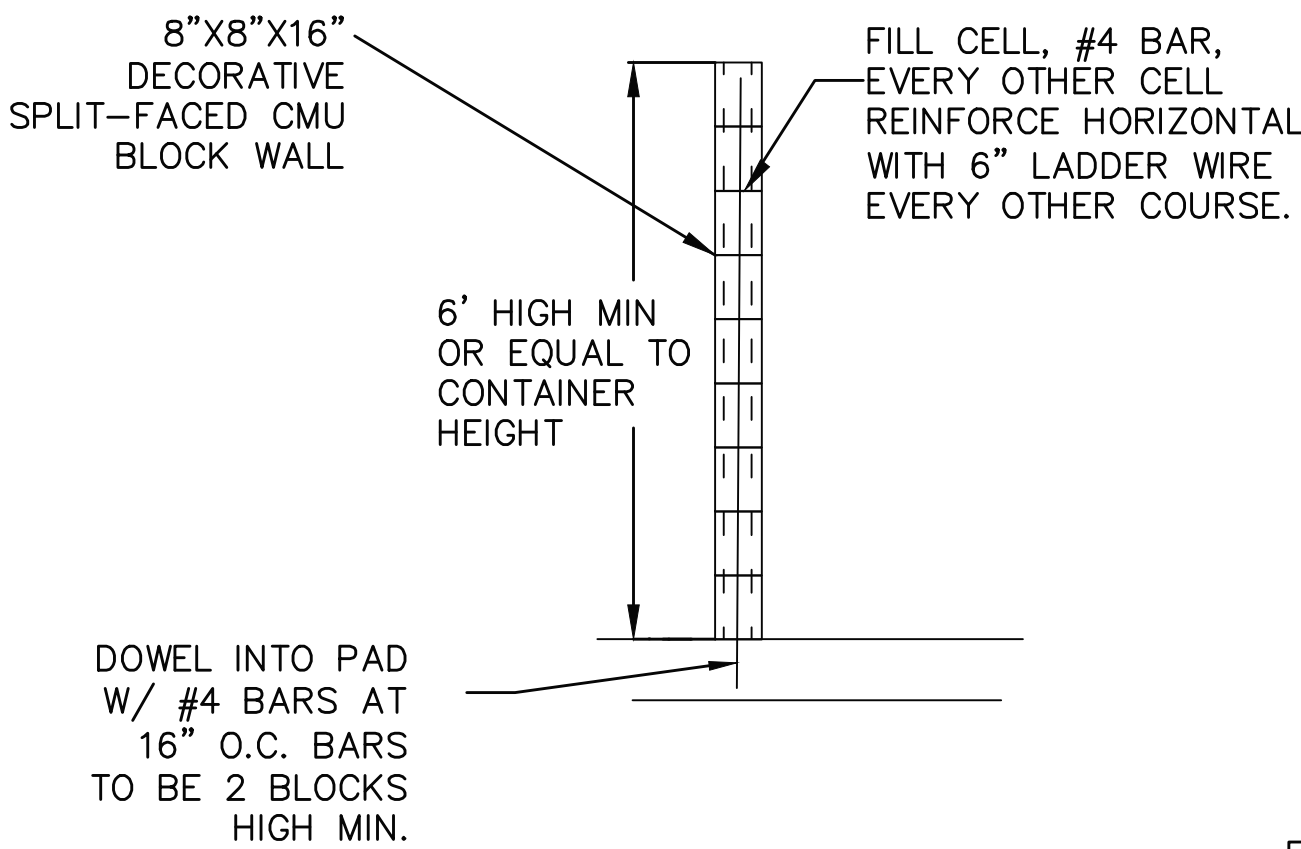
5" PCC WITH MIN. 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. REINFORCING STEEL #3 BARS SPACED AT 18" O.C.E.W. PLACED ON TOP OF MIN. 6" DEPTH OF 6% BY VOLUME LIME STABILIZED SUBGRADE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY.

DRIVE/FIRELANES:

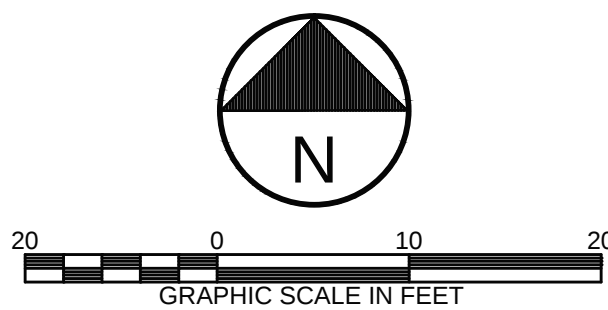
6" PCC WITH MIN. 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. REINFORCING STEEL #3 BARS SPACED AT 18" O.C.E.W. PLACED ON TOP OF MIN. 6" DEPTH OF 6% BY VOLUME LIME STABILIZED SUBGRADE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY.

DUMPSTER PAD:

7" PCC WITH MIN. 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. REINFORCING STEEL #3 BARS SPACED AT 18" O.C.E.W. PLACED ON TOP OF MIN. 6" DEPTH OF 6% BY VOLUME LIME STABILIZED SUBGRADE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY.



SECTION A - A  
DUMPSTER ENCLOSURE DETAIL



| REVISIONS |            |                       |
|-----------|------------|-----------------------|
| #         | DATE       | DESCRIPTION           |
| Δ         | 12-11-2014 | PER CITY SUP COMMENTS |
|           |            |                       |
|           |            |                       |
|           |            |                       |

AME ENGINEERING, INC.  
817-583-7623 | mail@ameengineer.com

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JESSICA J. KILGORE, P.E. 106106 ON NOVEMBER 19, 2014



OWNER:  
PMC CHASE LLP. -DFW METRO SOUTH  
2800 PARK DRIVE SUITE 100  
ARLINGTON TX 76015  
STEVE TURNBOW, CCFC DIRECTOR  
817-461-7439

ENGINEER:  
AME ENGINEERING, INC.  
4401 LITTLE RD STE 550 BOX 299  
ARLINGTON TX 76016  
JESSICA KILGORE, P.E.  
817-583-7623

2620 W. IH-20  
AT PRAIRIE RIDGE  
2620 W. IH-20  
GRAND PRAIRIE, TX 75052  
CONTACT NAME: STEVE TURNBOW  
CONTACT COMPANY: PMC CHASE LLP, 2800  
PARKS DRIVE, STE 100, ARLINGTON, TX  
CONTACT PHONE: 817-691-7623  
AME PROJECT NUMBER: 1000  
2009 IBC, 2009 IECC, 2008 NEC

SITE PLAN

SHEET NUMBER

C1

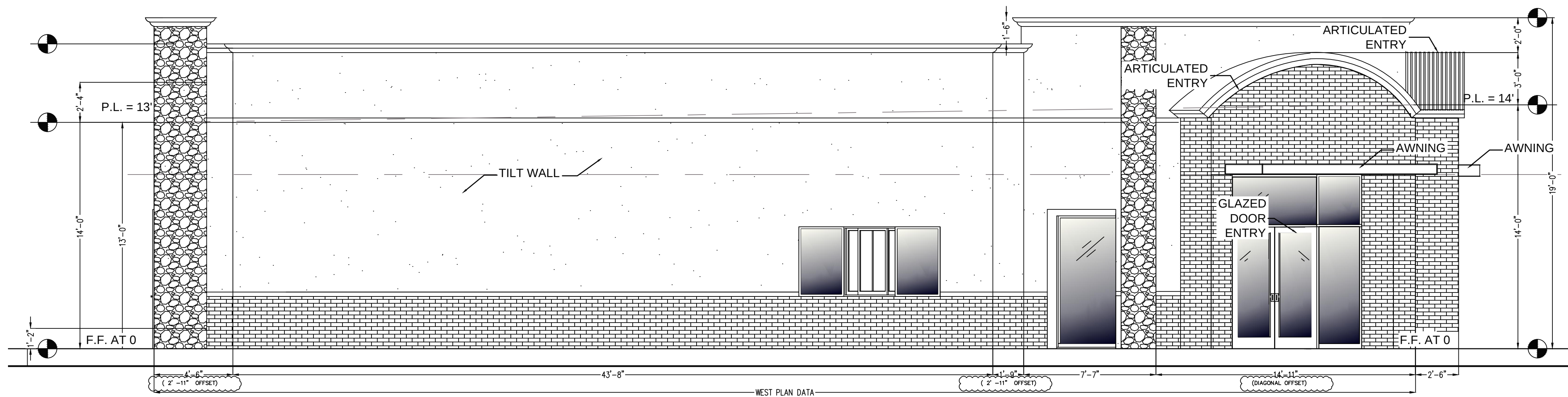
CASE NUMBER SU150102/S150102

AME ENGINEERING, INC. 817-583-7623 mail@ameengineer.com.  
AME PROJECT 1000 PUBLISHED 12/10/2014.  
2620 W. IH-20 AT PRAIRIE RIDGE FOR STEVE TURNBOW.

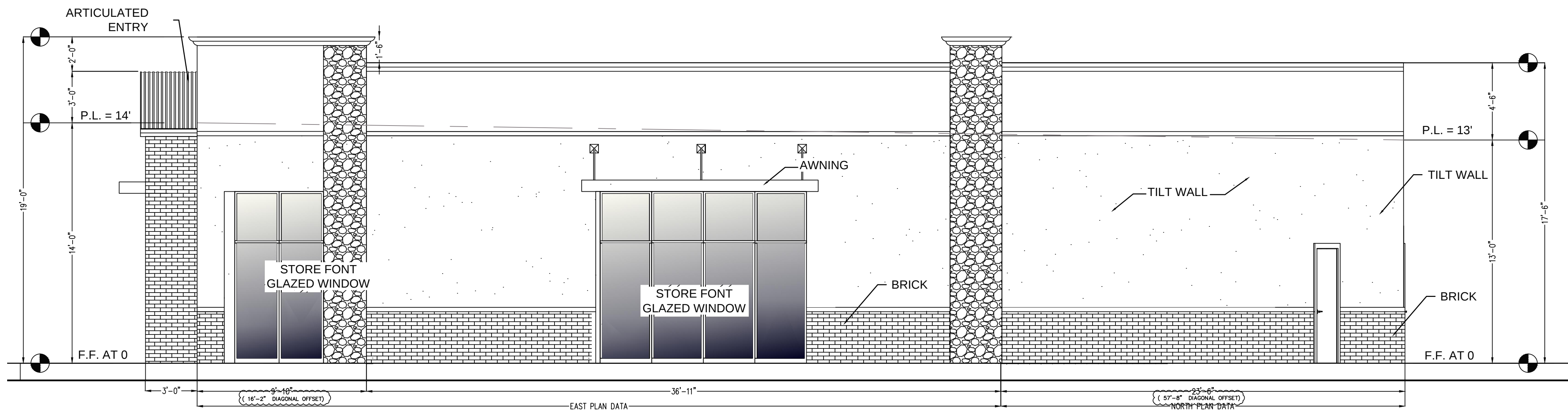


CASE NUMBER SU150102/S150102

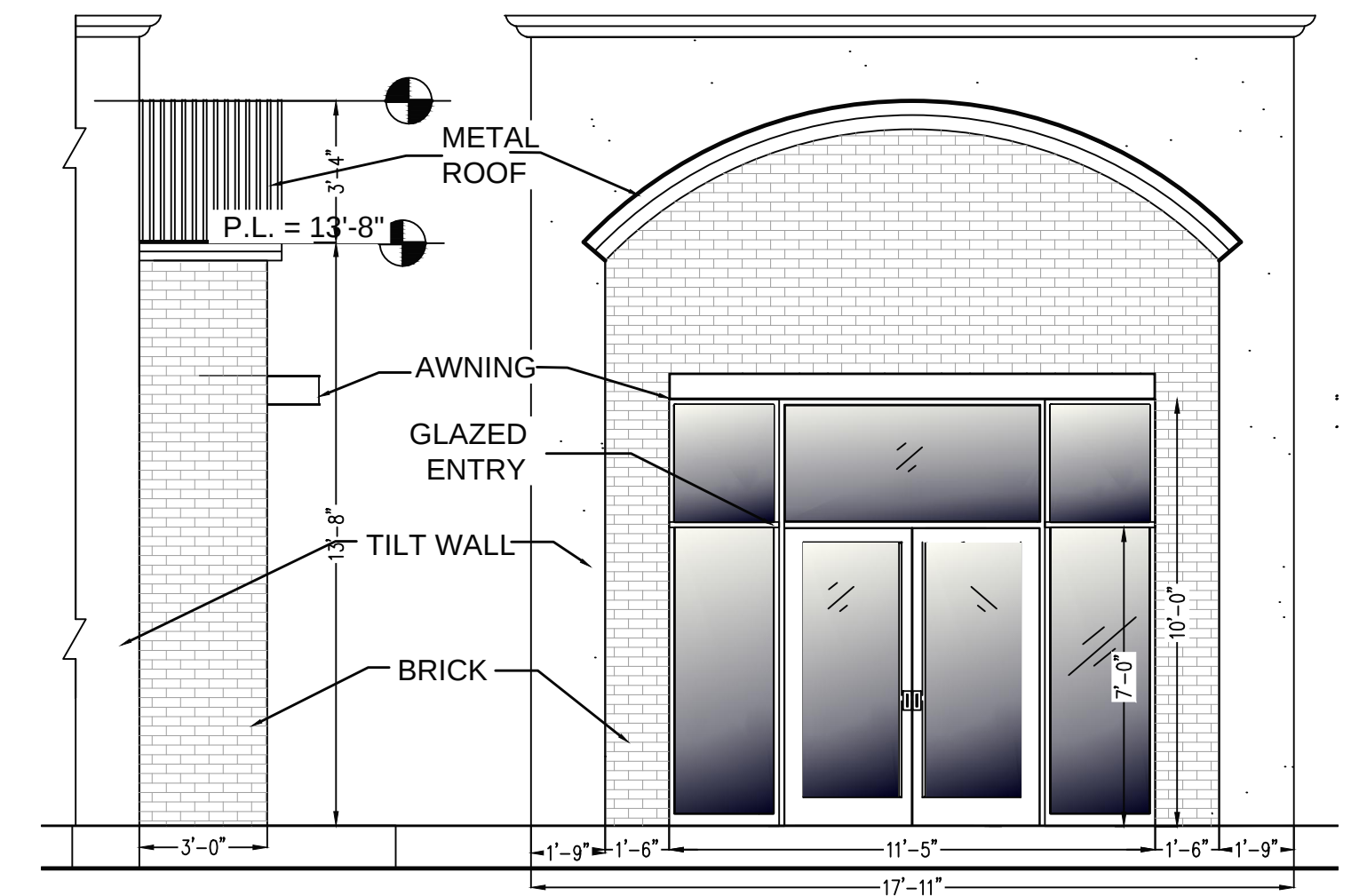
AME ENGINEERING, INC. 817-583-7623 mail@ameengineer.com.  
AME PROJECT 1000 PUBLISHED 12/2/2014 12:06 PM.  
2620 W. IH-20 AT PRAIRIE RIDGE FOR STEVE TURNBOW.



**1 WEST ELEVATION ( PRIMARY )**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 ARTICULATED ENTRY**  
SCALE: 1/4" = 1'-0"

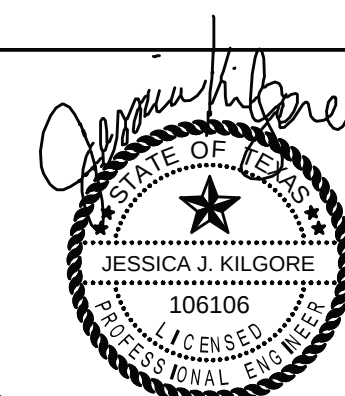
| ELEVATION PLAN DATA |                |                  |                          |                            |                                  |                                    |
|---------------------|----------------|------------------|--------------------------|----------------------------|----------------------------------|------------------------------------|
| FACADE              | TOTAL AREA (X) | OPENING AREA (Y) | PRIMARY MASONRY AREA (P) | SECONDARY MASONRY AREA (S) | PERCENTAGE PRIMARY (P/(X-Y)) 100 | PERCENTAGE SECONDARY (S/(X-Y)) 100 |
| NORTH               | 1372           | 42               | 1330                     | 0                          | 100                              | 0                                  |
| SOUTH               | 989            | 430              | 559                      | 0                          | 100                              | 0                                  |
| EAST                | 658            | 201              | 457                      | 0                          | 100                              | 0                                  |
| WEST                | 1503           | 196              | 1310                     | 0                          | 100                              | 0                                  |

| REVISIONS |            |                       |
|-----------|------------|-----------------------|
| #         | DATE       | DESCRIPTION           |
| 1         | 12-11-2014 | PER CITY SUP COMMENTS |
|           |            |                       |
|           |            |                       |

**AME ENGINEERING, INC.**  
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ARLINGTON, TX 76016

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY  
JESSICA J. KILGORE, P.E. 106106  
ON NOVEMBER 19, 2014



**A2 ELEVATIONS**  
SCALE: AS SHOWN

OWNER:  
PMC CHASE LLP. -DFW METRO SOUTH  
2800 PARK DRIVE SUITE 100  
ARLINGTON TX 76015  
STEVE TURNBOW, CCFC DIRECTOR  
817-461-7439

ENGINEER:  
AME ENGINEERING, INC.  
4401 LITTLE RD STE 550 BOX 299  
ARLINGTON TX 76016  
JESSICA KILGORE, P.E.  
817-583-7623

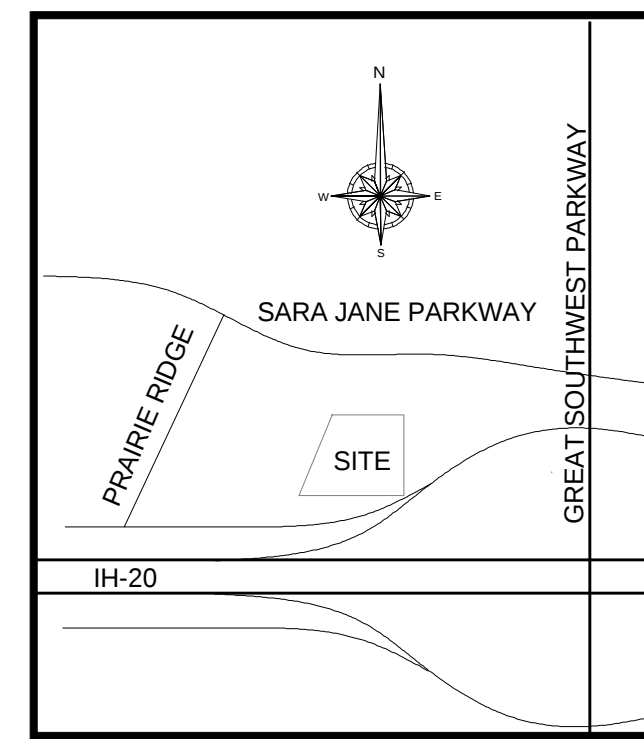
**2620 W. IH-20**  
AT PRAIRIE RIDGE  
2620 W. IH-20  
GRAND PRAIRIE, TX 75052  
CONTACT NAME: STEVE TURNBOW  
CONTACT COMPANY: PMC CHASE LLP, 2800  
PARKS DRIVE, STE 100, ARLINGTON, TX  
CONTACT PHONE: 817-691-7623  
AME PROJECT NUMBER: **1000**  
2009 IBC, 2009 IECC, 2008 NEC

SHEET NUMBER

**A2**

CASE NUMBER SU150102/S150102

AME ENGINEERING, INC. 817-583-7623 mail@ameengineeringinc.com  
AME PROJECT 1000 PUBLISHED 12/2/2014 12:06 PM  
2620 W. IH-20 AT PRAIRIE RIDGE FOR STEVE TURNBOW.



1. PLANT LIST TO BE USED AS AN AID TO BIDDER ONLY.
2. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING MATERIAL ESTIMATES.
3. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY OWNER'S REPRESENTATIVE.
4. SEPARATE ALL TURF AND BED AREAS WITH 10 GAUGE STEEL EDGING UNLESS OTHERWISE NOTED.
5. FOLLOWING INSTALLED EDGING, EXCAVATE AS NECESSARY TO REMOVE ALL PLANT MATERIAL. REMOVE ALL STONES AND DEBRIS 2" IN DIAMETER AND LARGER.
6. ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6".
7. APPLY A 3" DEPTH OF BACKFILL MATERIAL OVER ENTIRE BED AREA AND TILL INTO EXISTING TOP OF CURB.
8. EXISTING TOP OF CURB BACKFILL MATERIAL SHALL BE COMPOSED OF ORGANIC MATERIAL SUCH AS LIVING EARTH TECHNOLOGY COMPOST OR APPROVED EQUAL.
9. INSTALL PLANTS AND ADD AGGRIFORM PLANTING TABLETS (PER MANUFACTURER'S RECOMMENDED AMOUNT) TO ALL PLANTS ONE GALLON AND LARGER.
10. GROUND BEDS TO BE 12" DEEP FROM CENTER OF CURB TO PERIMETER.
9. APPLY A PRE-EMERGENT HERBICIDE TO ALL BEDS AT MANUFACTURERS RECOMMENDED RATE.
10. TOP DRESS ENTIRE BED WITH A 2" LAYER OF SHREDDED HARDWOOD MULCH.
11. ALL SHADE AND ORNAMENTAL TREES SHALL BE PLANTED AS FOLLOWS: A) EXCAVATE SIDES OF PIT 24" LARGER THAN ROOT BALL AND SCARIFY SIDES B) EXCAVATE PIT TO SAME DEPTH AS PIT (SEE CALL C) C) PERFORATED SEWER AND DRAIN PIPE AND CAP WRAPPED IN FILTER CLOTH AND SURROUND WITH 3/4-1" LIMESTONE 12" IN DIAMETER TO BASE OF PIT.
- 12) BACKFILL SHALL CONSIST OF AN EQUAL MIXTURE OF EXISTING SOIL AND ORGANIC MATERIAL B) FORM A TEMPORARY TREE WELL ON PERIMETER OF PIT AND TOP DRESS WITH A 2" LAYER OF SHREDDED MULCH TO TOP OF TREE WELL C) PLANT TREE WITHIN THE TREE WELL D) ONE YEAR GUARANTEE PERIOD TREE RING SHALL BE REMOVED. ALL TREES ARE TO BE STAKED SO TREE WILL NOT MOVE IN STRONG WINDS. STAKES WILL BE PLACED IN UNDISTURBED SOIL AT A MINIMUM DISTANCE OF 24" FROM EXCAVATED TREE PIT.
13. ALL STAKES ARE TO BE REMOVED AT TIME OF PLANTING UNLESS OTHERWISE NOTED.
13. PROVIDE A ONE YEAR GUARANTEE ON ALL PLANT MATERIAL FROM TIME OF ACCEPTED COMPLETION. FOLLOWING ONE YEAR GUARANTEE, OWNER AND LANDSCAPE CONTRACTOR SHALL WALK SITE. NOTE ANY MATERIALS TO BE REPLACED AND TIME PERIOD FOR REPLACEMENT. FOLLOWING GUARANTEE PERIOD CONTRACTOR WILL SIGN OFF AND ACCEPT RESPONSIBILITY FOR MAINTAINING HEALTH OF ALL LANDSCAPE MATERIAL.
14. ALL AREAS LABELED "TURF" SHALL BE COMMON BERMU DA HYDROMULCH UNLESS OTHERWISE NOTED.
15. REPAIR ALL DISTURBED AREAS ON JOB SITE AND ADJACENT SITE WITH COMMON BERMU DA OR ANNUAL RYE CONTINGENT UPON SEASON.
16. ALL LANDSCAPE IRRIGATION SYSTEMS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN AND FREEZE SENSOR WIRED TO CONTROLLER.
17. IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED ACCORDING TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY AND THE CITY OF GRAND PRairie UNIFIED DEVELOPMENT CODE.
18. ALL DUMPSTER ENCLOSURES ARE TO HAVE AN 8' CMU WALL ON THREE SIDES AND OPAQUE DOORS ON THE FRONT.
19. IF ANY SIDEWALKS ARE REQUIRED THEY WILL BE DESIGNED TO PROVIDE A HANDICAP ACCESS AT THE DRIVE APPROACHES.
20. OWNER IS RESPONSIBLE FOR THE MAINTENANCE AND OVERALL HEALTH OF THE LANDSCAPE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: FERTILIZING, MOWING, WEEDING AND OTHER SUCH ACTIVITIES NECESSARY FOR THE PROPER MAINTENANCE OF LANDSCAPING.
21. LEGEND IS AN AID FOR BIDDERS ONLY.

| LANDSCAPE CALCULATIONS                                                                                                            | REQUIRED                | PROVIDED |
|-----------------------------------------------------------------------------------------------------------------------------------|-------------------------|----------|
| REQUIRED LANDSCAPING PERCENTAGE                                                                                                   | 10%                     | 11.33%   |
| REQUIRED LANDSCAPE SQUARE FOOTAGE                                                                                                 | 3,890.80                | 4,408    |
| A MINIMUM OF 75% OF ALL REQUIRED LANDSCAPING SHALL BE LOCATED IN THE FRONT YARD BETWEEN THE BUILDING LINE AND THE PROPERTY LINE.  | 2,918.10                | 3,913    |
| REQUIRED TREES - ONE TREE WITH A MINIMUM 3" TRUNK AND AT LEAST 6' IN HEIGHT FOR EVERY 500 SQUARE FEET OF REQUIRED LANDSCAPE AREA. | $2,918.1 / 500 = 5.84$  | 6        |
| STREET TREES SHALL BE PLANTED A MINIMUM OF 25' APART AND A MAXIMUM OF 50' APART ALONG COLLECTOR AND ARTERIAL STREETS.             | $269.67 / 50 = 5.39$    | 5        |
| PARKING LOT TREES SHALL BE LOCATED IN THE PARKING LOT AREA ONE TREE PER 20 PARKING SPACES.                                        | $44 / 20 = 2.2$         | 2        |
| PARKING SPACES SHALL BE LOCATED WITHIN 100' OF A TREE.                                                                            | REQUIRED                | PROVIDED |
| ONE SHRUB (MINIMUM OF 5 GALLON ) SHALL BE PROVIDED FOR EVERY 50 SQUARE FEET OF REQUIRED LANDSCAPE AREA.                           | $3,890.80 / 50 = 77.82$ | 87       |
| SCREENING OF PUBLIC SPACES FROM PRIVATE LAND USE.                                                                                 | REQUIRED                | PROVIDED |

SITE SQUARE FOOTAGE - LOT 2RA - 38,908.00  
GROSS SITE AREA - .89 Acre 38,908 SQUARE FEET  
COMMERCIAL ZONING REQUIRED LANDSCAPE PERCENTAGE - 5%  
5% OF 40,213.18 = 2,010.659 SQ FT

CONTACT; STEVE TURNBOW  
TPS FAMILY LP  
2800 PARK DRIVE  
ARLINGTON, TEXAS 76015  
817-891-7823

PRIME LANDSCAPE SERVICES  
P.O. BOX 171626  
ARLINGTON, TEXAS 76003-1626  
817-460-4000

**SHEET DESCRIPTION:**

LANDSCAPE PLAN

PROJECT:  
PRAIRIE RIDGE RETAIL CENTER  
2620 WEST IH-20  
GRAND PRAIRIE, TEXAS 75052

REVISIONS:

DATE: 10-17-2014

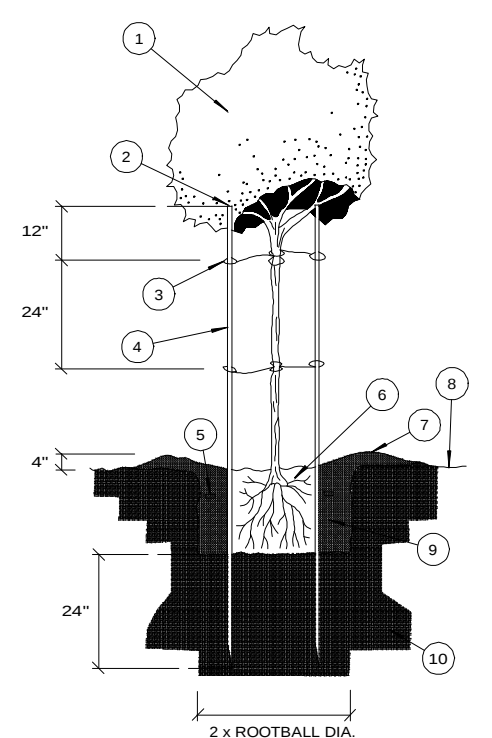
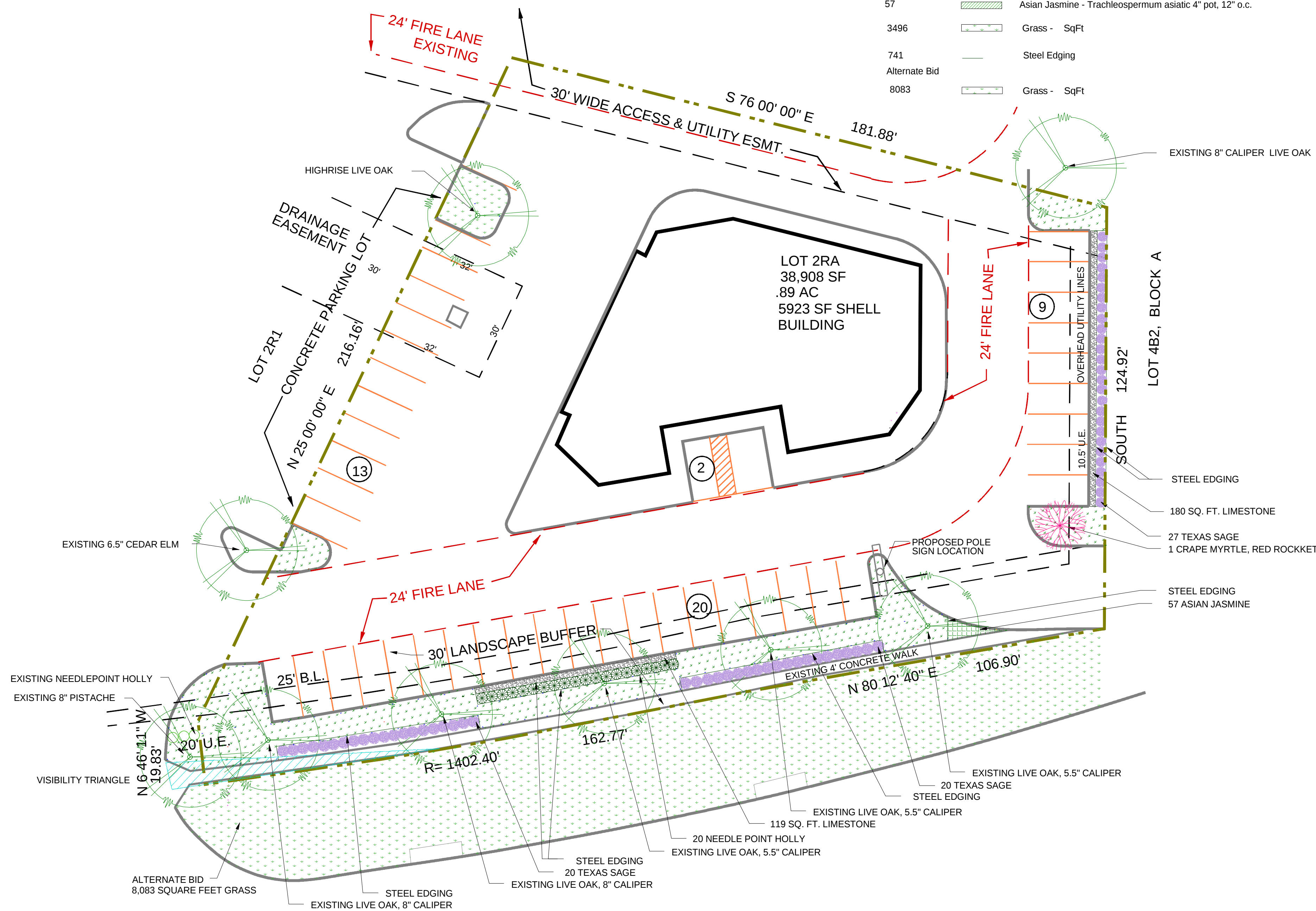
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C10-37315

DRAWN BY: CTF

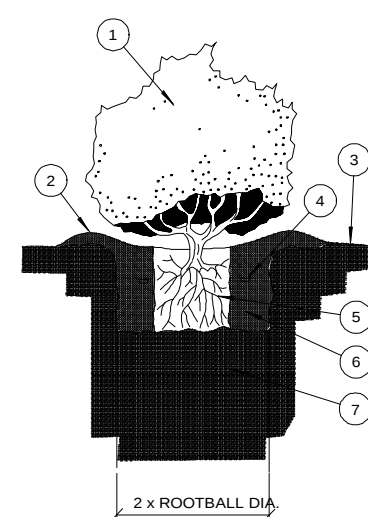
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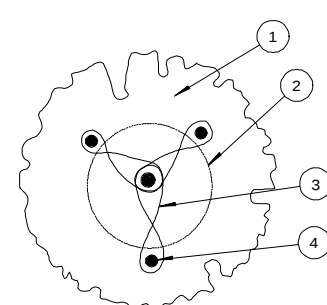
SHEET: L 1.0



## TREE PLANTING



## SHRUB PLANTING



## TREE TRIPLE STAKE



*C. Thomas Fitzwilliam*  
10/27/2014  
LANDSCAPE ARCHITECT:  
TOM FITZWILLIAM  
P.O. BOX 171626  
ARLINGTON, TEXAS 76003-1626  
817-437-3523

OWNER: