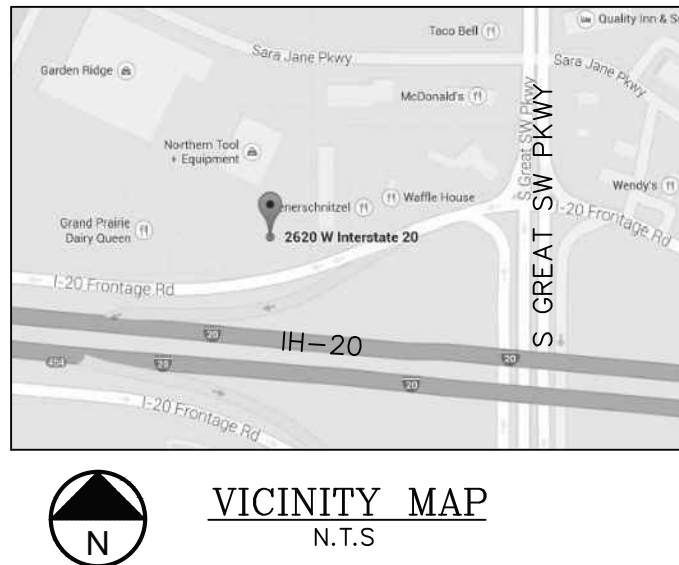


SITE DEVELOPMENT DATA		
ZONING FOR ZONE GR		
DENSITY	N/A	BLDG PER ACRE
EXTERIOR MASONRY CONTENT REQUIRED	100	%
PERCENTAGE OF LANDSCAPE REQUIRED	5	% MIN.
MAX. BUILDING HEIGHT	19	FEET TO RIDGELINE
	14	FEET TO PLATE TOP
MAX. FLOOR AREA RATIO	35:1	(FAR) RATIO
AREAS		
TOTAL SITE ACRES	0.89	ACRES
TOTAL SITE SQ. FT. (SF)	38,908	SF
BUILDING FOOTPRINT	5923	SF
IMPERVIOUS COVER		
BUILDINGS	5923	SF
PAVING	24509	SF
SIDEWALK/HARDSCAPE	3200	SF
	33632	TOTAL SF
BUILDING SETBACKS		
FRONT	25	FT
REAR	0	FT
SIDE	10	FT
INTERIOR	0	FT
PARKING SUMMARY		
TYPE OF PARKING	REQUIRED	PROVIDED
RESTURANT-DINING/WAIT AREAS (2000 SF)	20	25
RETAIL/PERSONAL SERVICE (2696)	10	15
TOTAL REQUIRED PARKING SPACES (INCLUDING ACCESSIBLE PARKING)	30	40
ACCESSIBLE PARKING	REQUIRED	PROVIDED
ACCESSIBLE PARKING (INCLUDING 1 VAN ACCESSIBLE)	2	2



PROPOSED PAVEMENT CONSTRUCTION:

PARKING AREAS:

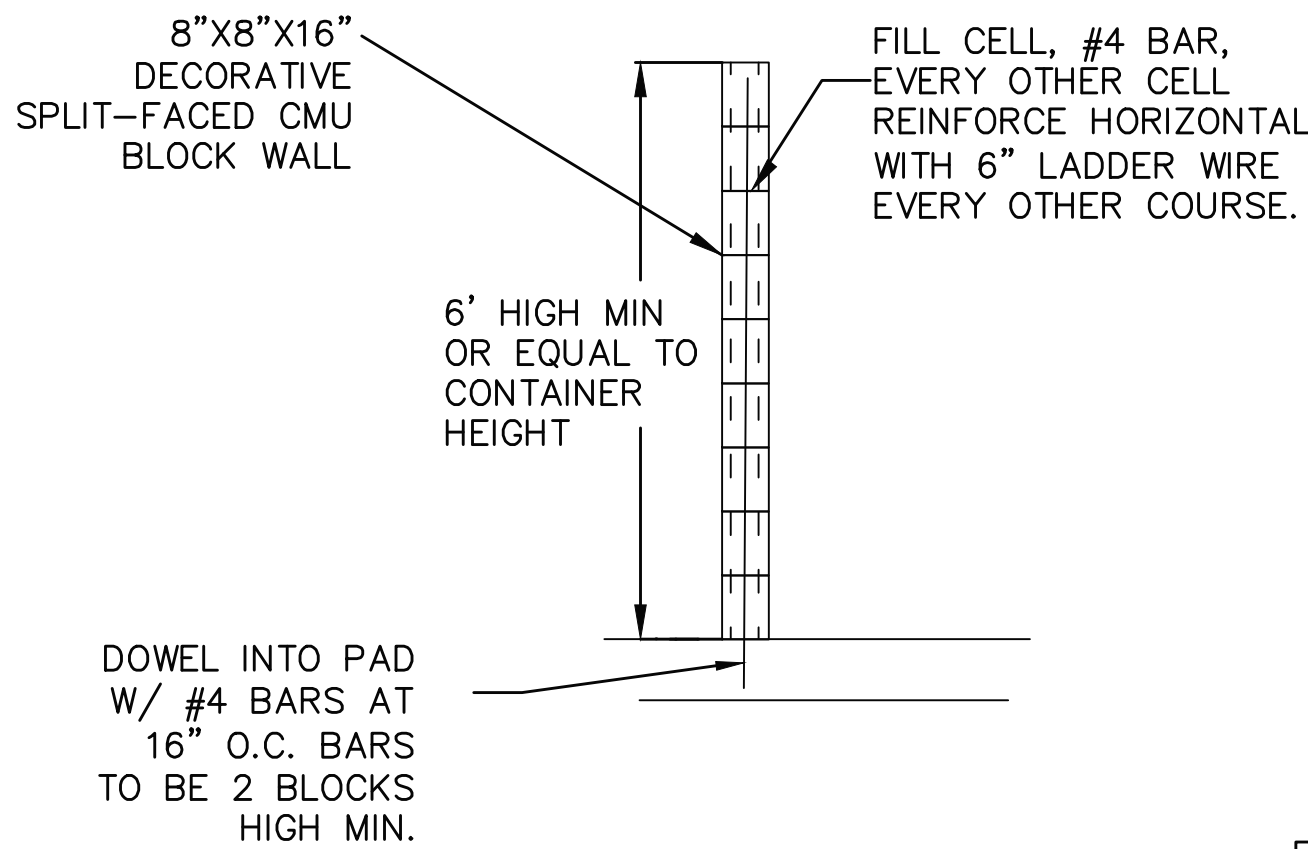
5" PCC WITH MIN. 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. REINFORCING STEEL #3 BARS SPACED AT 18" O.C.E.W. PLACED ON TOP OF MIN. 6" DEPTH OF 6% BY VOLUME LIME STABILIZED SUBGRADE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY.

DRIVE/FIRELANES:

6" PCC WITH MIN. 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. REINFORCING STEEL #3 BARS SPACED AT 18" O.C.E.W. PLACED ON TOP OF MIN. 6" DEPTH OF 6% BY VOLUME LIME STABILIZED SUBGRADE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY.

DUMPSTER PAD:

7" PCC WITH MIN. 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. REINFORCING STEEL #3 BARS SPACED AT 18" O.C.E.W. PLACED ON TOP OF MIN. 6" DEPTH OF 6% BY VOLUME LIME STABILIZED SUBGRADE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY.



SECTION A - A
DUMPSTER ENCLOSURE DETAIL

C1 DIMENSIONAL CONTROL SITE PLAN

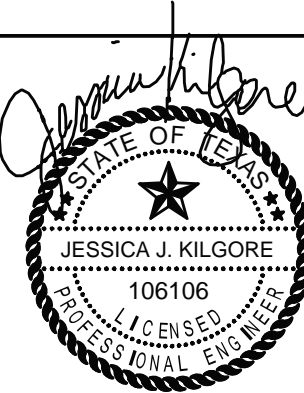
SCALE: 1" = 20'

REVISIONS		
#	DATE	DESCRIPTION
Δ	12-11-2014	PER CITY SUP COMMENTS

AME ENGINEERING, INC.
817-583-7623 | mail@ameengineer.com

FAX: 855-352-7689
4401 LITTLE RD SUITE 550 BOX 299
ARLINGTON, TX 76016

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JESSICA J. KILGORE, P.E. 106106 ON NOVEMBER 19, 2014

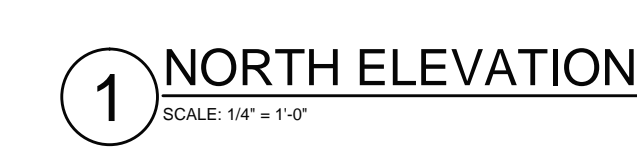


SITE PLAN

SHEET NUMBER

C1

CASE NUMBER SU150102/S150102



OWNER:
PMC CHASE LLP. -DFW METRO SOUTH
2800 PARK DRIVE SUITE 100
ARLINGTON TX 76015
STEVE TURNBOW, CCFC DIRECTOR
817-461-7439

ENGINEER:
AME ENGINEERING, INC.
4401 LITTLE RD STE 550 BOX 299
ARLINGTON TX 76016
JESSICA KILGORE, P.E.
817-583-7623

2620 W. IH-20
AT PRAIRIE RIDGE
2620 W. IH-20
GRAND PRAIRIE, TX 75052
CONTACT NAME: STEVE TURNBOW
CONTACT COMPANY: PMC CHASE LLP, 2800
PARKS DRIVE, STE 100, ARLINGTON, TX
CONTACT PHONE: 817-891-7823

AME PROJECT NUMBER: 1000
2009 IBC, 2009 IECC, 2008 NEC

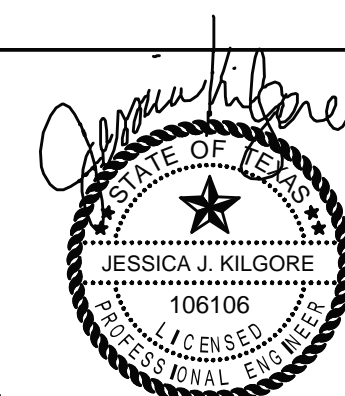
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A1
CASE NUMBER SU150102/S150102

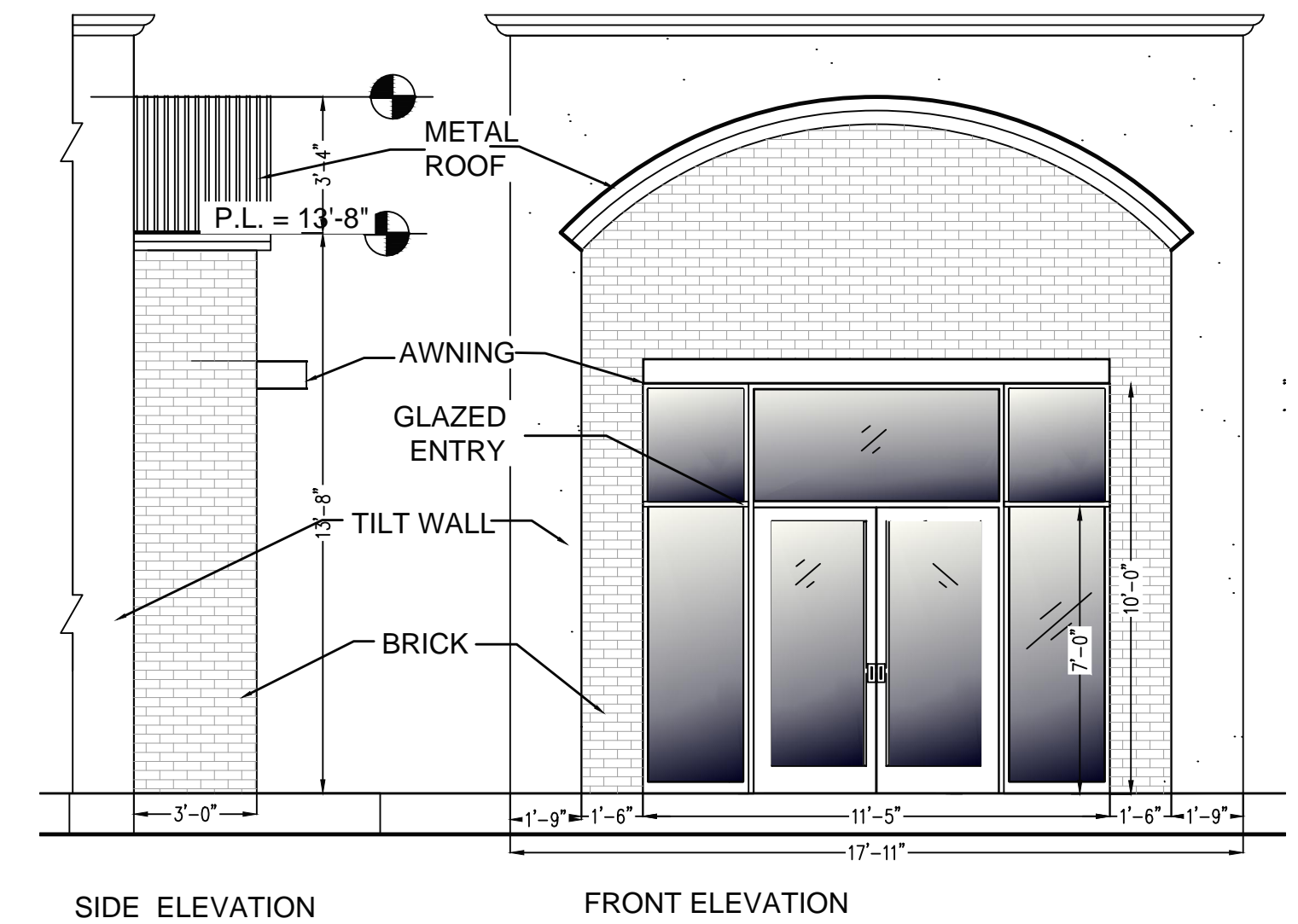
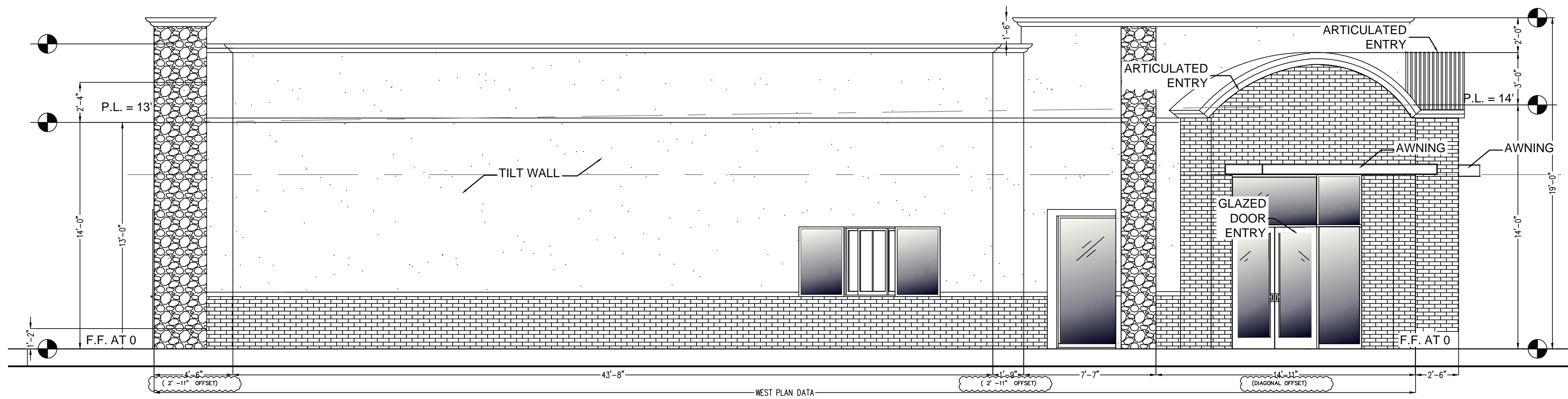
REVISIONS		
#	DATE	DESCRIPTION
<u>A</u>	12-11-2014	PER CITY SUP COMMENTS

AME ENGINEERING, INC.
817-583-7623 | mail@ameengineeringinc.com

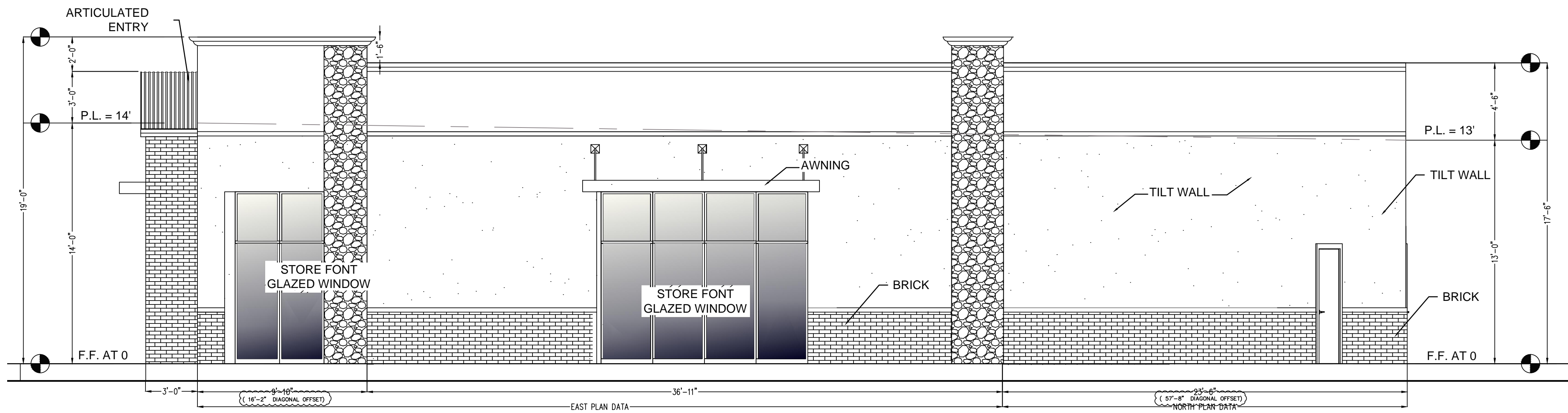
FAX: 855-352-7689
4401 LITTLE RD SUITE 550 BOX 299
ARLINGTON, TX 76016

THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
JESSICA J. KILGORE, P.E. 106106
ON NOVEMBER 19, 2014





3 ARTICULATED ENTRY
SCALE: 1/4" = 1'-0"



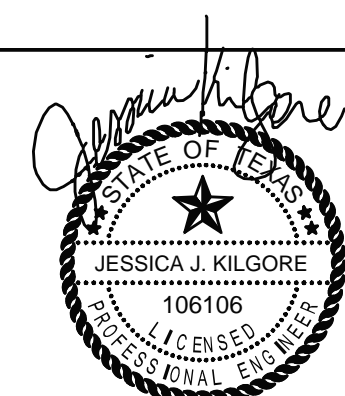
ELEVATION PLAN DATA						
FACADE	TOTAL AREA (X)	OPENING AREA (Y)	PRIMARY MASONRY AREA (P)	SECONDARY MASONRY AREA (S)	PERCENTAGE PRIMARY (P/(X-Y)) 100	PERCENTAGE SECONDARY (S/(X-Y)) 100
NORTH	1372	42	1330	0	100	0
SOUTH	989	430	559	0	100	0
EAST	658	201	457	0	100	0
WEST	1503	196	1310	0	100	0

REVISIONS		
#	DATE	DESCRIPTION
Δ	12-11-2014	PER CITY SUP COMMENTS

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4401 LITTLE RD SUITE 550 BOX 299
ARLINGTON, TX 76016

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JESSICA J. KILGORE, P.E. 106106 ON NOVEMBER 19, 2014



A2 ELEVATIONS
SCALE: AS SHOWN

OWNER:
PMC CHASE LLP. -DFW METRO SOUTH
2800 PARK DRIVE SUITE 100
ARLINGTON TX 76015
STEVE TURNBOW, CCFC DIRECTOR
817-461-7439

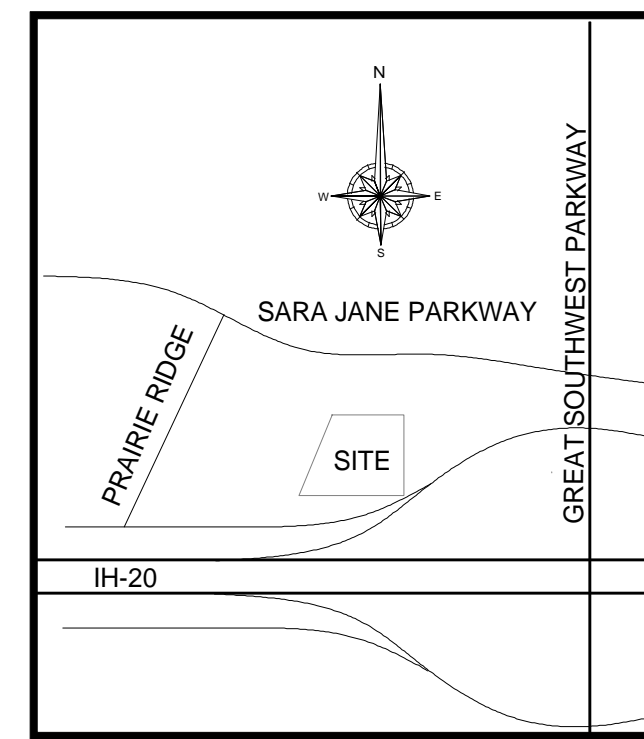
ENGINEER:
AME ENGINEERING, INC.
4401 LITTLE RD STE 550 BOX 299
ARLINGTON TX 76016
JESSICA KILGORE, P.E.
817-583-7623

2620 W. IH-20
AT PRAIRIE RIDGE
2620 W. IH-20
GRAND PRAIRIE, TX 75052
CONTACT NAME: STEVE TURNBOW
CONTACT COMPANY: PMC CHASE LLP, 2800
PARKS DRIVE, STE 100, ARLINGTON, TX
CONTACT PHONE: 817-891-7623
AME PROJECT NUMBER: 1000
2009 IBC, 2009 IECC, 2008 NEC

SHEET NUMBER
A2

CASE NUMBER SU150102/S150102

AME ENGINEERING, INC. 817-583-7623 mail@ameengineeringinc.com
AME PROJECT 1000 PUBLISHED 12/2/2014 12:06 PM
2620 W. IH-20 AT PRAIRIE RIDGE FOR STEVE TURNBOW.



1. PLANT LIST TO BE USED AS AN AID TO BIDDER ONLY.
2. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING MATERIAL ESTIMATES.
3. ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY OWNER'S REPRESENTATIVE.
4. SEPARATE ALL TURF AND BED AREAS WITH 10 GAUGE STEEL EDGING UNLESS OTHERWISE NOTED.
5. FOLLOWING INSTALLED EDGING, EXCAVATE AS NECESSARY TO REMOVE ALL PLANT MATERIAL. REMOVE ALL STONES AND DEBRIS 2" IN DIAMETER AND LARGER.
6. ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6".
7. APPLY A 3" DEPTH OF BACKFILL MATERIAL OVER ENTIRE BED AREA AND TILL INTO EXISTING TOP OF CURB.
8. EXISTING TOP OF CURB BACKFILL MATERIAL SHALL BE COMPOSED OF ORGANIC MATERIAL SUCH AS LIVING EARTH TECHNOLOGY COMPOST OR APPROVED EQUAL.
9. INSTALL PLANTS AND ADD AGGRIFORM PLANTING TABLETS (PER MANUFACTURER'S RECOMMENDED AMOUNT) TO ALL PLANTS ONE GALLON AND LARGER.
10. ALL BEDS TO BE 6" BELOW CENTER OF CURB TO PERIMETER.
9. APPLY A PRE-EMERGENT HERBICIDE TO ALL BEDS AT MANUFACTURERS RECOMMENDED RATE.
10. TOP DRESS ENTIRE BED WITH A 2" LAYER OF SHREDDED HARDWOOD MULCH.
11. ALL SHADE AND ORNAMENTAL TREES SHALL BE PLANTED AS FOLLOWS: a) EXCAVATE SIDES OF PIT 24" LARGER than ROOT BALL AND SCARIFY SIDES b) EXCAVATE PIT TO SAME DEPTH AS ROOT BALL c) GIVE A 2" PEXFOTED SEWER AND DRAIN PIPE AND GROUND IN FILTER CLOTH AND SURROUND WITH 3/4-1" LIMESTONE 12" IN DIAMETER TO BASE OF PIT.
12. BACKFILL SHALL CONSIST OF AN EQUAL MIXTURE OF EXISTING SOIL AND ORGANIC MATERIAL.
13. FORM A TEMPORARY TREE WELL ON PERIMETER OF PIT AND TOP DRESS WITH A 2" LAYER OF SHREDDED HARDWOOD MULCH.
14. GUARANTEE PERIOD: THE GUARANTEE PERIOD FOR THE GUARANTEE PERIOD TREE RING SHALL BE REMOVED. ALL TREES ARE TO BE STAKED SO TREE WILL NOT MOVE IN STRONG WINDS. STAKES WILL BE PLACED IN UNDISTURBED SOIL AT A MINIMUM DISTANCE OF 24" FROM EXCAVATED TREE PIT.
15. GUARANTEE PERIOD: ALL TREES ARE TO BE PLANTED UNLESS OTHERWISE NOTED.
13. PROVIDE A ONE YEAR GUARANTEE ON ALL PLANT MATERIAL FROM TIME OF ACCEPTED COMPLETION.
14. FOLLOWING ONE YEAR GUARANTEE, OWNER AND LANDSCAPE CONTRACTOR SHALL WALK SITE, NOTE ANY MATERIALS TO BE REPLACED AND TIME PERIOD FOR REPLACEMENT. FOLLOWING GUARANTEE PERIOD, CONTRACTOR WILL SIGN OFF AND ACCEPT RESPONSIBILITY FOR MAINTAINING HEALTH OF ALL LANDSCAPE MATERIAL.
14. ALL AREAS LABELED "TURF" SHALL BE COMMON BERMUODA HYDROMULCH UNLESS OTHERWISE NOTED.
15. REPAIR ALL DISTURBED AREAS ON JOB SITE AND ADJACENT SITE WITH COMMON BERMUODA OR ANNUAL RYE CONTINGENT UPON SEASON.
16. ALL LANDSCAPE AND TURF AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN AND FREEZE SENSOR WIRED TO CONTROLLER.
17. IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED ACCORDING TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY AND THE CITY OF GRAND PRairie UNIFIED DEVELOPMENT CODE.
18. ALL DUMPSTER ENCLOSURES ARE TO HAVE AN 8' CMU WALL ON THREE SIDES AND OPAQUE DOORS ON THE FRONT.
19. IF ANY SIDEWALKS ARE REQUIRED THEY WILL BE DESIGNED TO PROVIDE A HANDICAP ACCESS AT THE DRIVE APPROACHES.
20. OWNER IS RESPONSIBLE FOR THE MAINTENANCE AND OVERSEEING HEALTH OF THE LANDSCAPE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: FERTILIZING, WEEDING, MOWING, WEEDING AND OTHER SUCH ACTIVITIES NECESSARY FOR THE PROPER MAINTENANCE OF LANDSCAPING.
21. LEGEND IS AN AID FOR BIDDERS ONLY.

LANDSCAPE CALCULATIONS	REQUIRED	PROVIDED
REQUIRED LANDSCAPING PERCENTAGE	10%	11.33%
REQUIRED LANDSCAPE SQUARE FOOTAGE	3,890.80	4,408
A MINIMUM OF 75% OF ALL REQUIRED LANDSCAPING SHALL BE LOCATED IN THE FRONT YARD BETWEEN THE BUILDING LINE AND THE PROPERTY LINE.	2,918.10	3,913
REQUIRED TREES - ONE TREE WITH A MINIMUM 3" TRUNK AND AT LEAST 6' IN HEIGHT FOR EVERY 500 SQUARE FEET OF REQUIRED LANDSCAPE AREA.	$2,918.1 / 500 = 5.84$	6
STREET TREES SHALL BE PLANTED A MINIMUM OF 25' APART AND A MAXIMUM OF 50' APART ALONG COLLECTOR AND ARTERIAL STREETS.	$269.67 / 50 = 5.39$	5
PARKING LOT TREES SHALL BE LOCATED IN THE PARKING LOT AREA ONE TREE PER 20 PARKING SPACES.	$44 / 20 = 2.2$	2
PARKING SPACES SHALL BE LOCATED WITHIN 100' OF A TREE.	REQUIRED	PROVIDED
ONE SHRUB (MINIMUM OF 5 GALLON) SHALL BE PROVIDED FOR EVERY 50 SQUARE FEET OF REQUIRED LANDSCAPE AREA.	$3,890.80 / 50 = 77.82$	87
SCREENING OF PUBLIC SPACES FROM PRIVATE LAND USE.	REQUIRED	PROVIDED

SITE SQUARE FOOTAGE - LOT 2RA - 38,908.00
GROSS SITE AREA - .89 Acre 38,908 SQUARE FEET
COMMERCIAL ZONING REQUIRED LANDSCAPE PERCENTAGE - 5%
5% OF 40,213.18 = 2,010.659 SQ FT

OWNER:

CONTACT; STEVE TURNBOW
TPS FAMILY LP
2800 PARK DRIVE
ARLINGTON, TEXAS 76015
817-891-7823

PRIME LANDSCAPE SERVICES
P.O. BOX 171626
ARLINGTON, TEXAS 76003-1626
817-460-4000

SHEET DESCRIPTION:

LANDSCAPE PLAN

PROJECT:

PRAIRIE RIDGE RETAIL CENTER
2620 WEST IH-20
GRAND PRAIRIE, TEXAS 75052

REVISIONS:

DATE: 10-17-2014

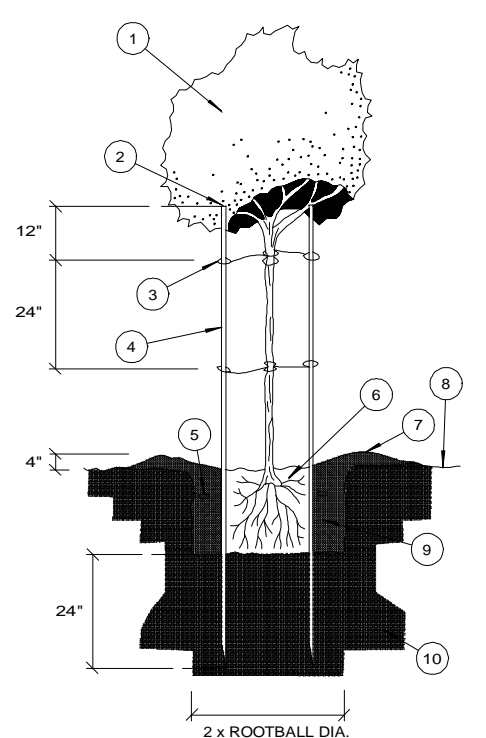
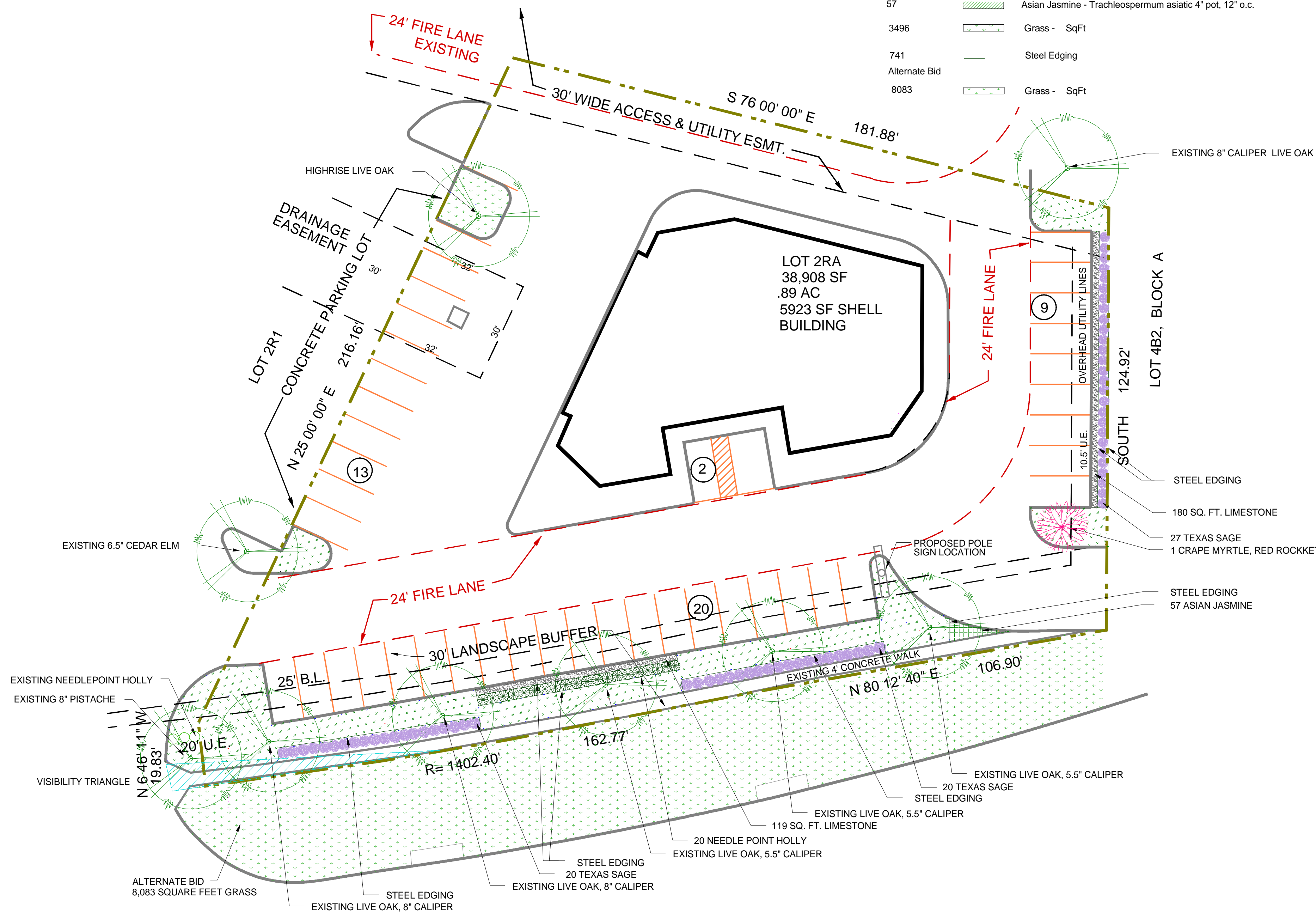
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C10-37315

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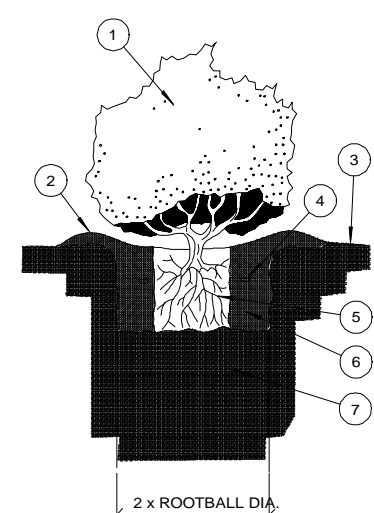
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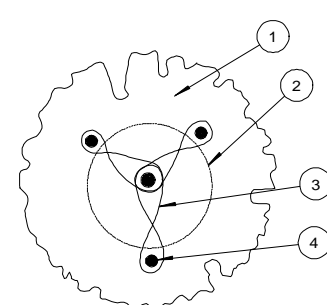
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TREE PLANTING



SHRUB PLANTING

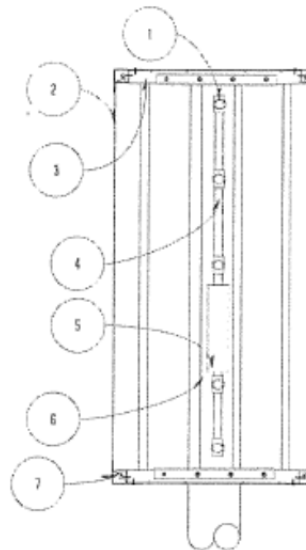
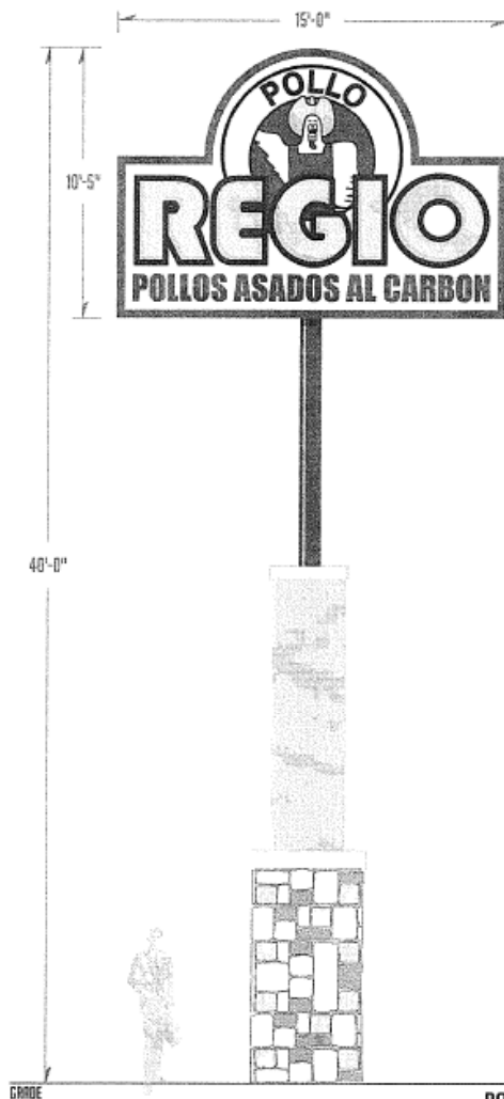


TREE TRIPLE STAKE



C. Thomas Fitzwilliam
10/27/2014
LANDSCAPE ARCHITECT:
TOM FITZWILLIAM
P.O. BOX 171626
ARLINGTON, TEXAS 76003-1626
817-437-3523

SHEET: L 1.0



POLE SIGN DETAIL
SCALE: NTS

- 1 - HIGH OUTPUT DRY LIGHT LAMPS IN SOCKET
- 2 - WHITE FLEX FACE WITH TRANSLUCENT VINYL GRAPHICS
- 3 - ANGLED ALUMINUM FRAME
- 4 - 1" CONDUIT
- 5 - BALLAST
- 6 - LAMP RACEWAY
- 7 - CLIP AND ROD TENSION SYSTEM

POLE SIGN
SCALE: 3/16" = 1'



1006 JOHNSON LANE, MIDLOTHIAN, TX 76065 • WWW.RBSIGNS.NET

DATE: 10/20/2014	PREPARED BY: JBP
CLIENT: EL POLLO REGIO	
PRODUCT: POLE SIGN	
LOCATION: 2620 W I-20, GRAND PRAIRIE, TX	
FILE NAME: EP2620GP-COMP-POLESIGN001.RAI	

*REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT PERMISSION FROM RUSSELL BYRUM SIGNS.

NOTE: IF ELECTRICAL SERVICE IS REQUIRED, IT WILL BE UP TO YOU THE CUSTOMER TO PROVIDE A 120 VOLT PRIMARY, INCLUDING GROUND WIRING DIRECTLY FROM PANEL BOX, WITHIN SIX (6) FEET OF SIGNAGE. ALL INSTALLATION IS TO MEET N.E.C. CODE.

BEFORE APPROVING:

PLEASE VERIFY ALL SIZES & SPECS CONTAINED IN THIS DRAWING. COLORS WILL VARY FROM MONITORS TO PRINTS. EXACT COLOR SAMPLES ARE AVAILABLE ON YOUR REQUEST. THERE MAY BE A FEE INVOLVED. BY APPROVING THIS DRAWING YOU ARE AGREEING THAT RUSSELL BYRUM SIGNS WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS THAT MAY BE CONTAINED IN THIS DRAWING OR CHANGES MADE OUTSIDE THIS APPROVAL. IT IS YOUR RESPONSIBILITY TO GET LANDLORD APPROVAL.

☐ - APPROVED AS IS ☐ - APPROVED W/ NOTES ☐ - DENIED, PLEASE REVISE

CLIENT SIGNATURE _____	CLIENT PRINT _____	DATE _____
LANDLORD SIGNATURE _____	LANDLORD PRINT _____	DATE _____