

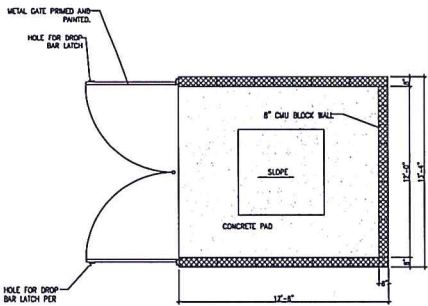
Exhibit A - Site Plan

SITE PLAN

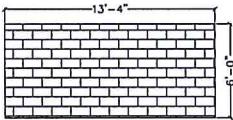
SCALE: 1" = 20'



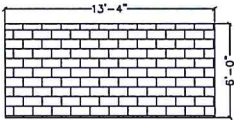
VICINITY MAP



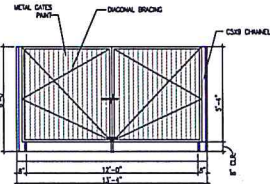
DUMPSTER PAD DETAIL



SIDE VIEW

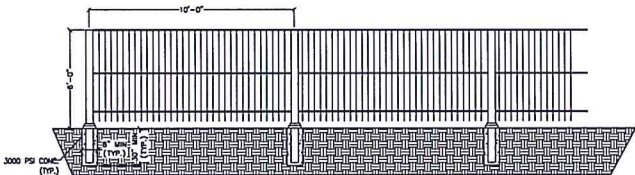


REAR VIEW

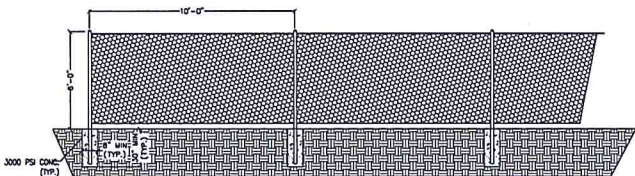


FRONT VIEW

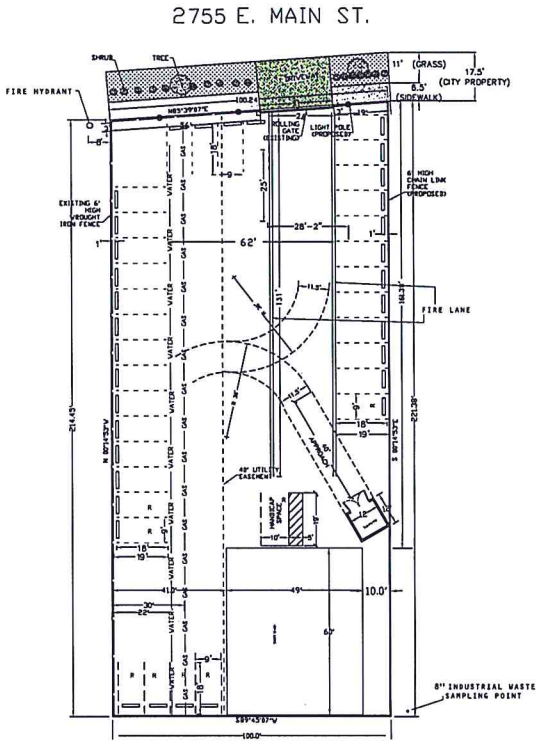
DUMPSTER ENCLOSURE



6' WROUGHT IRON FENCE DETAIL



6' CHAIN LINK FENCE DETAIL



SITE ACREAGE: .500 ACRES OR 21,750 S.F.  
NEW BUILDING 49' X 60' = 2,940 S.F.  
FLOOR TO AREA RATIO (FAR) = 135 (13.5%)  
PARKING DATA- 27 DISPLAY + 8 REQ  
LANDSCAPING (180) 1 GALLON SCREENING SHRUBS  
+ 2 TREES

NOTE: EXISTING ASPHALT ON PARKING AND DRIVING AREAS  
ADJACENT PROPERTY USES:  
WEST OF PROPERTY- SUN COAST RESOURCES INC.  
EAST OF PROPERTY- LAWLER MOTOR SPORTS

REFERENCE:  
SURVEY - WINKELMAN and ASSOC., SURVEYORS, DATED 07/09/14;  
LOT 2A-1, BLOCK 2, LAWLER MOTOR SPORTS ADDITION, DALLAS COUNTY, TX

|                |                                                                                                                                                                                  |            |                                            |
|----------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------------------------------------|
| DATE:          | 01/13/15                                                                                                                                                                         | REVISIONS: | REVISE TO 24x36" PRINT, SCALE 1/4" = 1'-0" |
| DRAWN BY:      | B.C.                                                                                                                                                                             | 1) 12/15   | ELECTRIC PER CITY                          |
| SHEET NO.:     | 1 OF 1                                                                                                                                                                           | 2) 3/23/15 | LANDSCAPING PER CITY                       |
| DRAWING TITLE: | SITE PLAN                                                                                                                                                                        |            | SITE PLAN REVISIONS PER CITY               |
| PROJECT:       | VILLA REAL MOTORS<br>2755 E. MAIN ST.<br>GRAND PRairie, TEXAS 75050<br>Light Industrial (U) District within Central Business District 4 (CBD 4)<br>CASE NUMBER: SU150401/5150401 |            |                                            |