

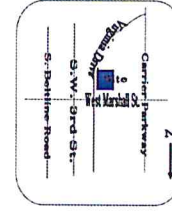
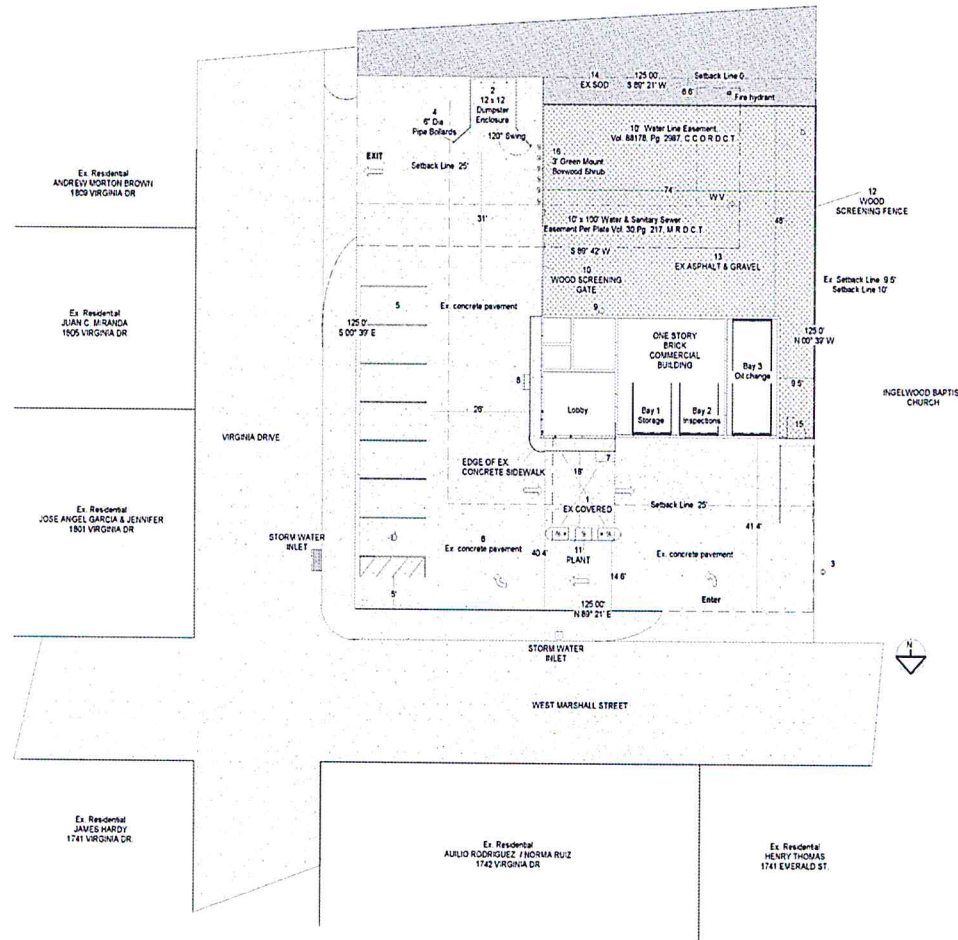
# Exhibit A - Site Plan

## SITE DATA

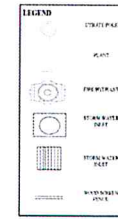
Zoning: General Retail  
 Lot Area: 15,625 S.F. or 0.36 Acres  
 Proposed Use: Lube Oil Change And Inspections  
 Building Area: 1,820 S.F.  
 Parking: R including 1 ADA (min. required 6)  
 Building Height: 12'6" ceiling (Ex. 1 story)  
 Building Façade: Masonry

## Layout Notes

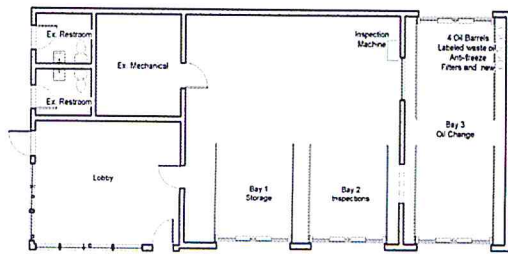
1. Ex. Covered parking
2. Demolish Ex. wall
3. 15' deep pit
4. 12" Dia. Pipe to Back
5. Employee Parking
6. Ex. Concrete pavement
7. Ex. Ramp area 1' x 12' deep
8. Ex. Steps
9. Ex. for underground
10. Wood screening gate 12' x 8' wide open to south
11. Street Plant 5' Ht.
12. Wood Screening Fence
13. Ex. Asphalt & Gravel
14. Ex. Sid
15. Wood gate door
16. Check Utilities (Underground)



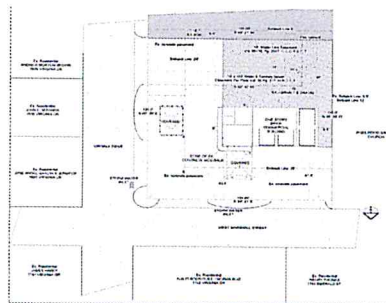
Vicinity Map



Site Plan  
 1/16" = 1'-0"



Opening for bay doors ending in building and set only install four 10 x 10 Bay Garage Doors



Existing Site Plan

## Notes

- Wood fence to be added as shown 8' height (see 12) upon approval
- Gate opening approx. 12' wide (see 10)
- Wood gate door at west side of building to open inward (see 15)
- Parking stripes and car stoppers to be added as required by code
- Plants to be added after city approval

**Owner & Applicant**  
 Pastor Gomez  
 1637 Ash St.  
 Grand Prairie, TX 75050

## Site Plan

Date: June 28, 2014  
 Drawn by: Xochitl Lucero (214) 422-1112  
 Case Number: SU140702  
**A102**  
 Scale: As indicated