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SEP 30 2015

L1.01

Sheet Number

Overall Plan

Landscape Plan

TRINITY 161 CENTER
TRINITY BLVD.

GRAND PRAIRIE, TEXAS

HALFF
LANDSCAPE ARCHITECTURE



SCALE: 1:20

GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING, SHIELDING AND INSERBERG UTILITIES PRIOR TO LANDSCAPE INSTALLATION. EXTREME CAUTION IS ADVISED. CONTRACTOR SHALL BE HELD WHEN DETERMINING THE LOCATION OF UTILITIES AND SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE AND SUBSEQUENT REPAIRS TO ANY CABLES OR UTILITIES.
2. ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AS NECESSARY. CONTRACTOR SHALL NOT DISTURB UTILITIES UNLESS OTHERWISE NOTED ON PLANS.
3. NO BRADY TRENCH SHALL BE LOCATED UNDER OVERHEAD POWER LINES.
4. ALL TREES SMALL OR LOCATED NO CLOSER THAN 4' FROM THE CENTERLINE OF ALL BELOW GROUND UTILITIES.
5. UPON COMPLETION OF CONSTRUCTION RELATED TRASH AND DEBRIS FROM THE PROJECT SITE SHALL BE REMOVED BY CONTRACTOR TO A LOCATION OUTSIDE THE PROJECT SITE AND DISPOSED OF.
6. CONTRACTOR TO PROVIDE AND UNDERGROUND ELECTRICAL SYSTEM IN ACCORDANCE WITH THE LICENSED ELECTRICIAN'S DESIGN AND LOCAL ELECTRICAL STANDARDS.

PLANTING LEGEND

TYPE	DESCRIPTION
1	CAL. CEDAR ELM <i>Ulmus crassifolia</i>
2	CAL. LIVE OAK <i>Quercus virginiana</i>
3	CAL. SHAMROCK OAK <i>Quercus ilex</i>
4	CAL. GLOSSY ABELIA <i>Abelia floribunda</i>
5	CAL. DWARF BURFORD <i>Hedysarum occidentale</i>

PRELIMINARY
FOR INTERNAL REVIEW ONLY

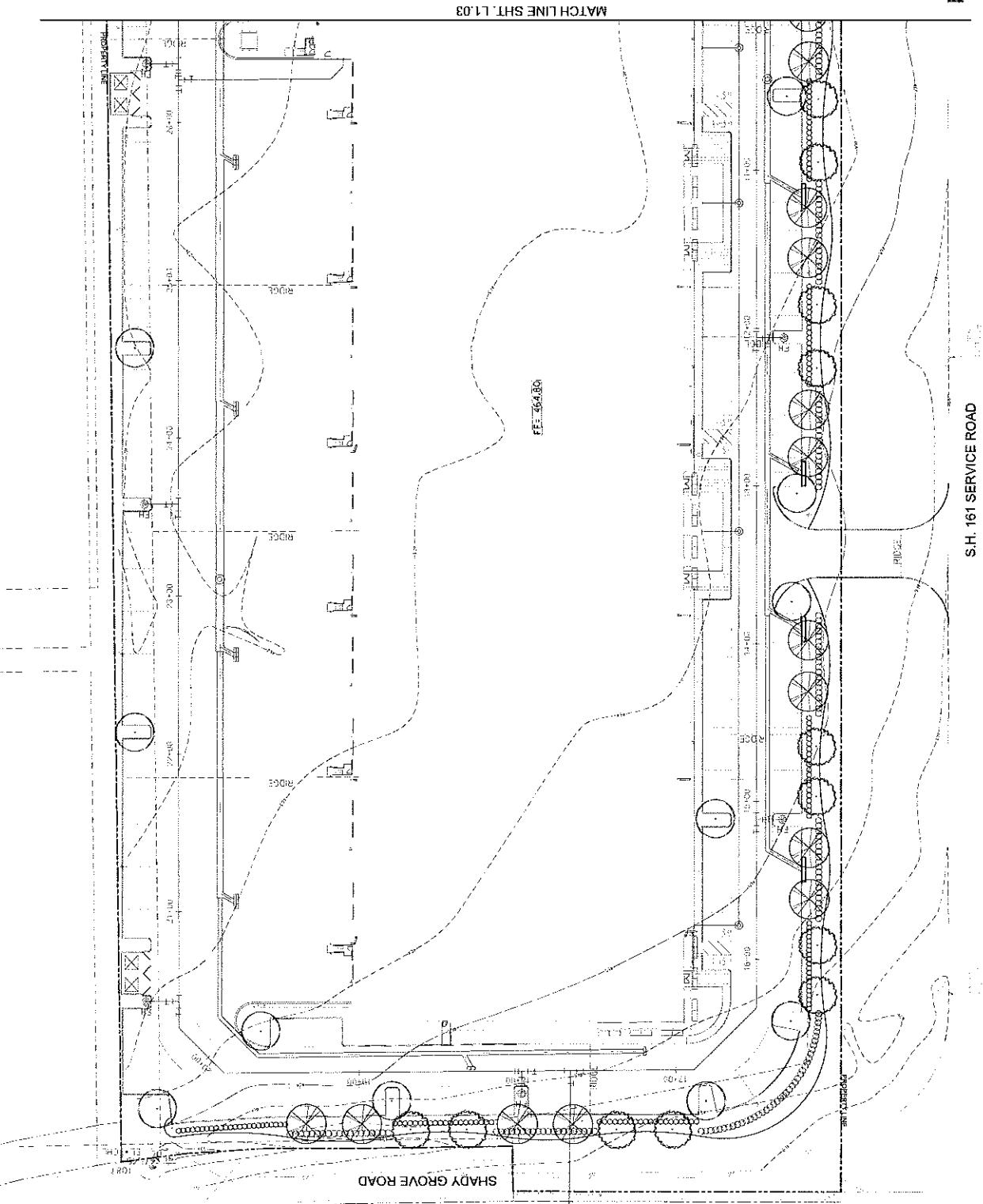
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SEP 30 2015

PLANNING DEPARTMENT

Sheet Number



TRINITY 161 CENTER
TRINITY 161 BLVD.
GRAND PARADE, TEXAS

HALFF
305 PROFESSIONAL STUDIO

PRELIMINARY

FOR INTERNAL REVIEW ONLY
These documents, including all plans, maps, drawings, sketches, notes, reports, correspondence, photographs, and other materials, are the property of the City of Dallas. They are to be used only for the purpose of internal review and shall not be distributed outside the City of Dallas without prior written approval.

Project No.: 31157
Issued: 09/22/2015
Drawn By: SHM
Checked By: KAW
Approved By: KAW
Sheet Title: LANDSCAPE PLAN
Sheet Number: L1.03

GENERAL NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING AND SEEDING WORKS PERTAINING PRIOR TO LANDSCAPE INSTALLATION. EXTREME CARE IS REQUIRED TO AVOID DAMAGE TO EXISTING PLANTS AND SOIL. CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE AND SUBSEQUENT REPAIR TO EXISTING PLANTS OR PROPERTY CAUSED WHEN PLANTING AND SEEDING WORKS ARE CONDUCTED.
2. ALL ARBORS MUST BE DUG OUT IN CONSTRUCTION UNLESS OTHERWISE NOTED ON PLANS.
3. NO GRANDE TREES SHALL BE LOCATED UNDER OVERHEAD POWER LINES.
4. ALL TREES SMALLER THAN 6" IN DIAMETER AT GROUND LEVEL SHALL BE LOCATED NO CLOSER THAN 6' FROM THE CENTRELINE OF ALL BELOW-GROUND UTILITIES.
5. UPON COMPLETION OF CONSTRUCTION RELATED TO TRASH AND DEBRIS FROM THE PROJECT LINES AND DISCHARGE OFF SITE.
6. CONTRACTOR TO PROVIDE AN UNDERGROUND LISTENING DEVICE TO TEST FOR THE PRESENCE OF GASES AND GROUNDS.
STANDARDS:

PLANTING LEGEND

SYMBOL	DESCRIPTION
○	2"-CAL. CEDAR ELM <i>Ulmus americana</i>
○	3"-CAL. LIVE OAK <i>Quercus virginiana</i>
○	5"-CAL. SHILOH OAK <i>Quercus shumardii</i>
○	6"-CAL. GLOSSY ABELIA <i>Abelia gomphophylla</i>
○	8"-CAL. DWARF BURFORD <i>Hedera helix</i> Burford'

TRINITY BOULEVARD

MATCHLINE SHT. L1.02

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S.H. 161 SERVICE ROAD

PLANNING DEPARTMENT

PLANTING SPECIFICATIONS

For the project identified below, the following specifications shall govern all planting operations.

GENERAL
CONTRACTOR AND REPRESENTATIVE OF OWNER SHALL BE RESPONSIBLE FOR PROVIDING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND ROCKS IN MATERIAL, LOCATED ON SITE OR SHIPPED TO SITE, AND APPROVED IN LANDSCAPE PLANNING MATERIALS PRIOR TO PLANTING.

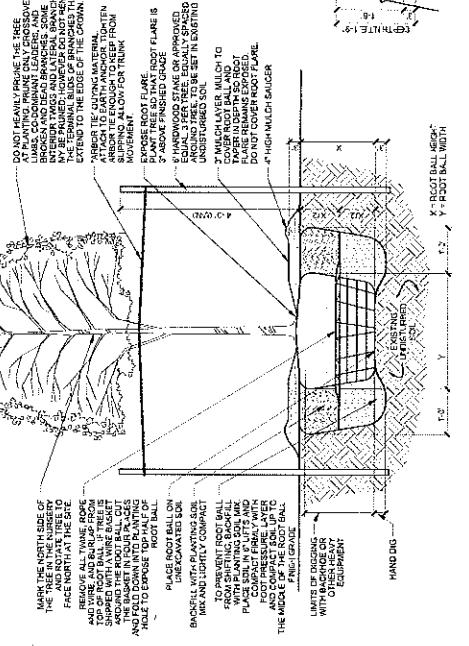
PLANTING SPECIFICATIONS
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING ALL SPECIFIED PLANTS IN THE NURSERY GROWING IN CONFORMITY WITH THE PLANTING SPECIFICATIONS FOR THE PROJECT.

LANDSCAPE PLANTING
GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING ALL SPECIFIED PLANTS IN CONFORMITY WITH THE PLANTING SPECIFICATIONS FOR THE PROJECT.

SHRUB PLANTING
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TREE PLANTING
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PLANTING SPECIFICATIONS FOR ALL SPECIFIED PLANTS
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01 SINGLE-TRUNK TREE WITH STAKES

SCALE 3/4" = 4'-0"

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING ALL SPECIFIED PLANTS IN CONFORMITY WITH THE PLANTING SPECIFICATIONS FOR THE PROJECT.

SHRUB PLANTING
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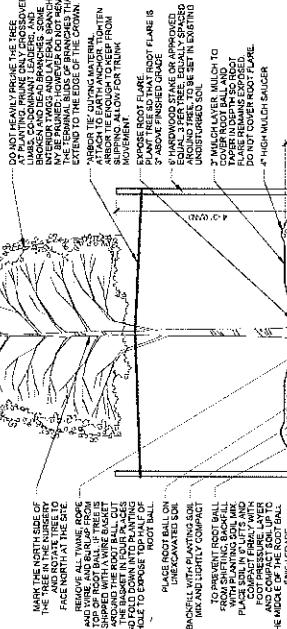
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02 LANDSCAPE BED PREPARATION

SCALE 3/4" = 4'-0"

LAWNS, COCONUT LEAVES, SOD, ETC. MAY BE PLANTED; however, dead and/or browned leaves and branches, stones, etc., may be planted; however, dead and/or browned leaves and branches, stones, etc., may be planted.

REBROTE TO DRAINAGE MATERIAL ATTACHED TO TRUNK TO PREVENT SNAIL AND SLUG DAMAGE.

EXPOSED ROOT FLARE IS 2" ABOVE FINISHED GRADE.

8" WOODEN STAKE OR APPROVED EQUAL 3" X 3" TREE, EQUALLY SPACED UNDISTURBED SOIL.

REINFORCE EDGE OF PLANT SITE WITH CRISTAL EDGING.

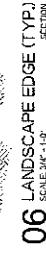
ANCHOR EROSION SHEET ON SIDE OF PLANT SITE.

ON TOP OF PLANT SITE, INDICATE BIG JEKYL-SPECIFIED SIZE, AND BOTTOM ONE INDICATE SMALL JEKYL-SPECIFIED SIZE.

ONE END OF PLANT SITE MUST BE COVERED AND COMPACTED UNTIL ROLLING EASILY.

RAVEN BOTTOM™ WITH LAVING EASILY INTO DISTRICT SOIL BELOW, AND FOOT CONTACT EXCAVATING SHOULDERED OUT.

NOTE: LANDSCAPE BED WIDTH VARIES. LANDSCAPE BED TO BE PREPARED PRIOR TO PLANT INSTALLATION.



03 SHRUB PLANTING DETAIL

SECTION

SCALE 3/4" = 4'-0"

GENERAL PLANTING REQUIREMENTS
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SEP 30 2015

Sheet Number

2.01

PLANNING DEPARTMENT

Project Name: TRINITY 161 CENTER	Design No.: TRINITY 161 CENTER	Architect: HALFF
Contractor: TRINITY PARCER	Planner: TRINITY BLVD.	Supervisor: TRINITY
Address: 161 TRINITY BLVD.	Date: 09/28/2015	Comments: RECEIVED

Project Name: TRINITY 161 CENTER	Design No.: TRINITY 161 CENTER	Architect: HALFF
Contractor: TRINITY PARCER	Planner: TRINITY BLVD.	Supervisor: TRINITY
Address: 161 TRINITY BLVD.	Date: 09/28/2015	Comments: RECEIVED

Project Name: TRINITY 161 CENTER	Design No.: TRINITY 161 CENTER	Architect: HALFF
Contractor: TRINITY PARCER	Planner: TRINITY BLVD.	Supervisor: TRINITY
Address: 161 TRINITY BLVD.	Date: 09/28/2015	Comments: RECEIVED

TRINITY 161 CENTER
TRINITY BLVD.
GRAND PRAIRIE, TEXAS

HALFF

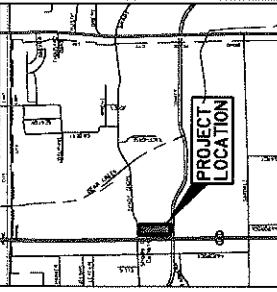
PRELIMINARY
FOR INFORMATION ONLY

C.101

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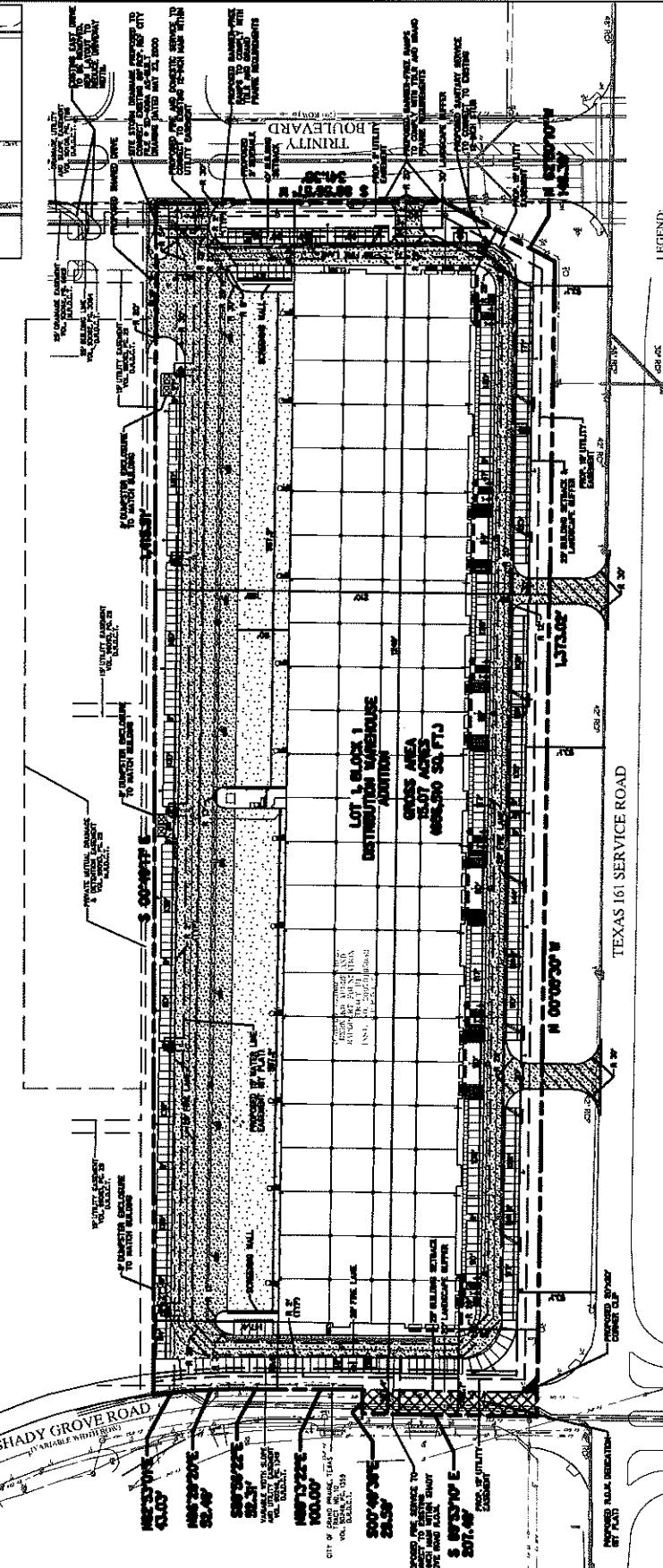
SEP 30 2015

PLANNING DEPARTMENT



NO FLOODPLAIN EXISTS ON SITE

100' HI 2011 Elevation
7/11/11 - 8/16/11
VII
Source: TIGER



LEGEND:

PROPOSED FIRE HYDRANT	Z
PROPOSED SANITARY SEWER MANHOLE	Z
PROPOSED SANITARY SEWER LINE	Z
PROPOSED WATER LINE	Z
EXISTING SANITARY SEWER LINE	Z
EXISTING SANITARY SEWER	Z
EXISTING OVERHEAD ELECTRIC	Z
MAIN CATCHER LINE	Z
EXISTING OVERHEAD ELECTRIC	Z

Z

SITE DATA SUMMARY	
ZONING	PO-21
LOT SIZE	66' X 100'
LOT AREA	66' X 100' = 6,600 SF
BUILDING AREA	600 SF / 100' AC
UNDEVELOPED AREA	100' AC
STRUCTURE AREA	100' AC
CHARGEABLE AREA	100' AC
RESIDENTIAL AREA	100' AC
NON RESIDENTIAL AREA	100' AC
REARABLE AREA	100' AC
PARKING SPACES	111
PERCENTAGE OF GARAGES/HOUSES	11%

SEE ORIGINAL Landscaping Plan for Landscaping.

OWNER	MURKIN HOLDINGS, LLC WILLIAM MURKIN, PRESIDENT CONTRACTOR: JOHN MURKIN
DESIGNER	DENNIS OBER DENNIS OBER, INC., COMMERCIAL ARCHITECTURE, 422 LBJ, SUITE 1100, DALLAS, TX 75240 GARY LEE, LEED AP, PROJECT MANAGER PATRICK COOK, LEED AP JESSICA COOK, LEED AP
ARCHITECT	HARRIS ASSOCIATES, LTD. LEONARD HARRIS, LEED AP CHRISTINE JONES, LEED AP CHRIS WATSON, LEED AP
GENERAL CONTRACTOR	GARRETTE CONSTRUCTION CO., INC. JIM HARVEY, OWNER
CONTRACTOR	JIM HARVEY, OWNER
ENGINEER	CHRIS WATSON, LEED AP CHRISTINE JONES, LEED AP

MANUFACTURER	DAI, INC., COMMERCIAL EXTERIOR SYSTEMS, 100 N BROAD ST, PHILADELPHIA, PA 19102 DAI, INC., COMMERCIAL EXTERIOR SYSTEMS, 100 N BROAD ST, PHILADELPHIA, PA 19102 DAI, INC., COMMERCIAL EXTERIOR SYSTEMS, 100 N BROAD ST, PHILADELPHIA, PA 19102
MANUFACTURER	DAI, INC., COMMERCIAL EXTERIOR SYSTEMS, 100 N BROAD ST, PHILADELPHIA, PA 19102 DAI, INC., COMMERCIAL EXTERIOR SYSTEMS, 100 N BROAD ST, PHILADELPHIA, PA 19102 DAI, INC., COMMERCIAL EXTERIOR SYSTEMS, 100 N BROAD ST, PHILADELPHIA, PA 19102
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S151005



HARDY MCCULLUM MLM ARCHITECTS
1210 1/2 TAYLOR ST.
SUITE 1000
DALLAS, TX 75201
PHONE: (214) 871-1300

REVISIONS	DATE
	REV 1

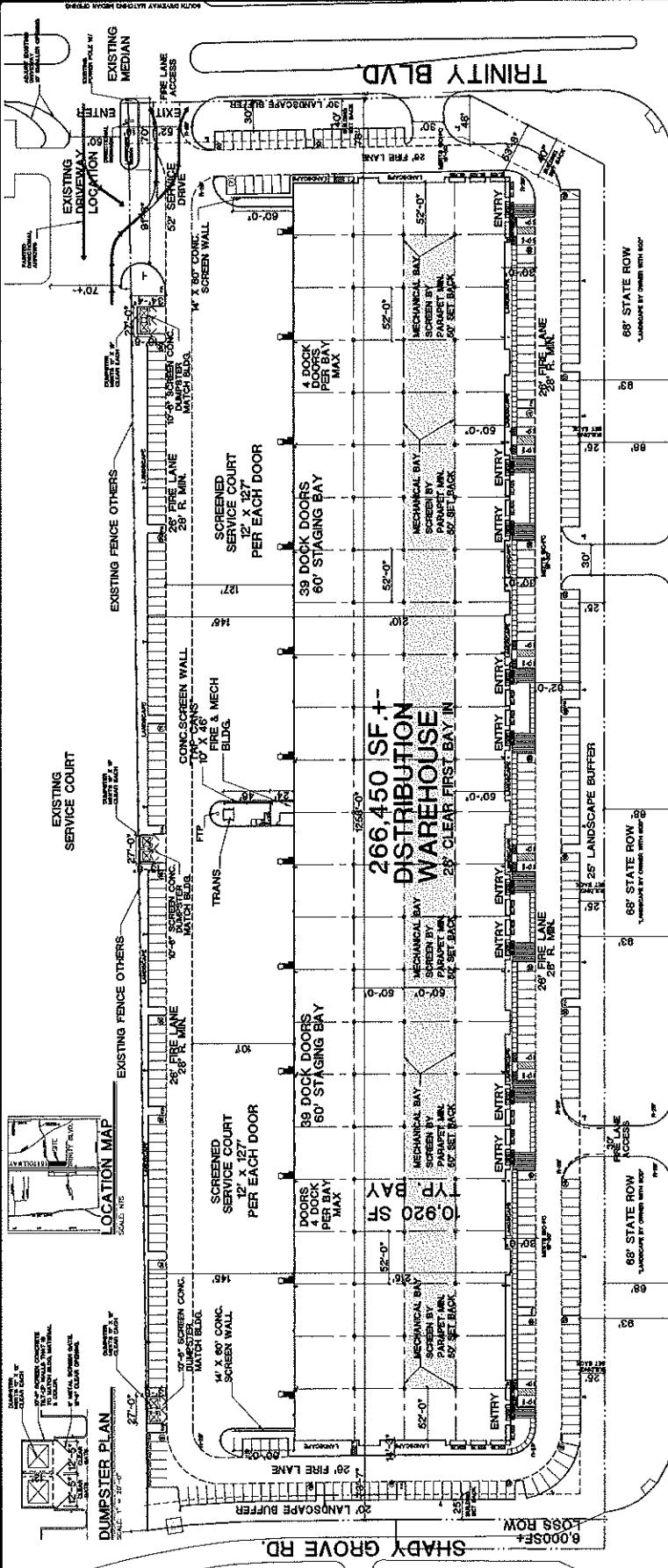
TRINITY 161 CENTER

WORLD TRADE CENTER

SITE PLAN

A-10

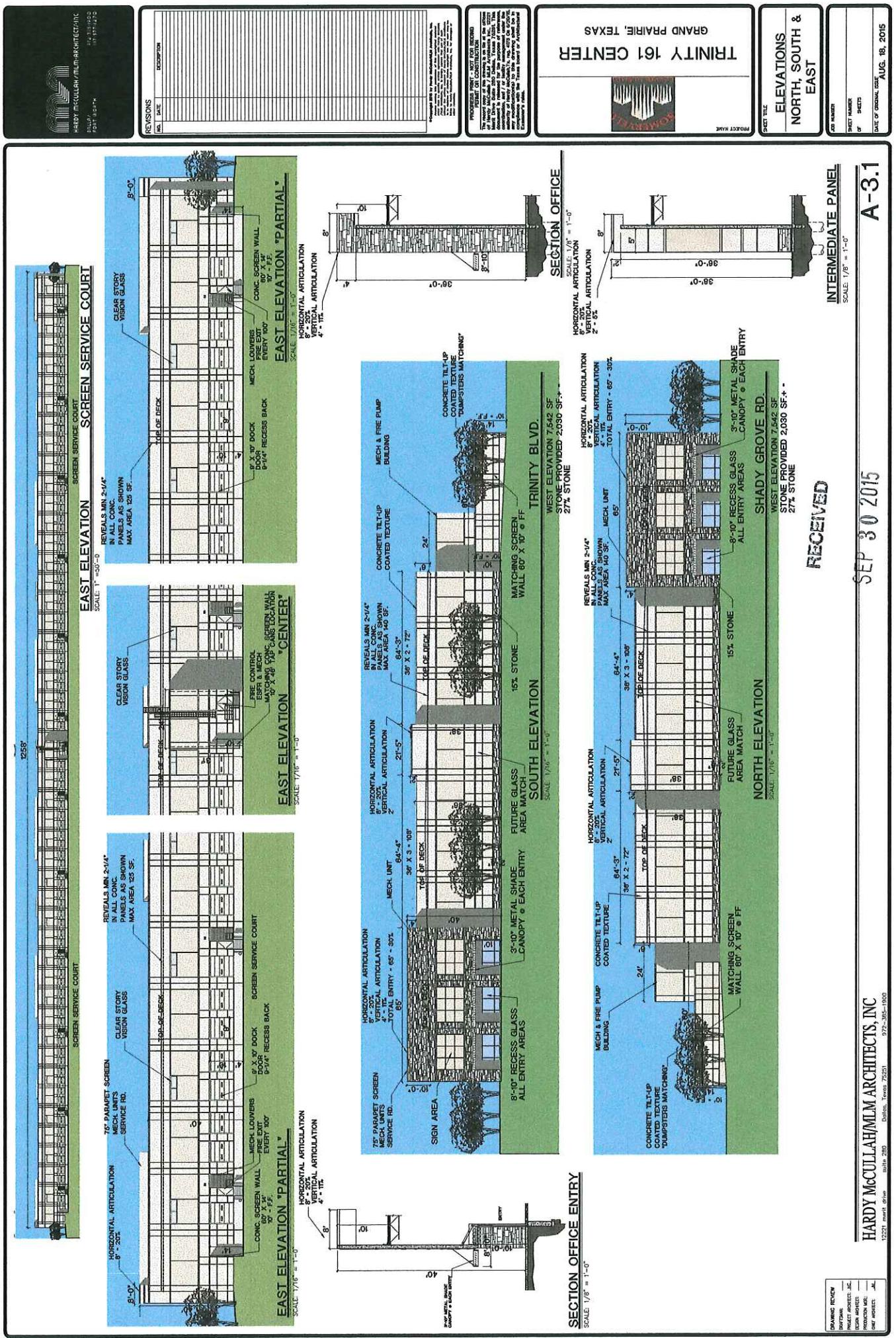
DATE OF ORIGINAL DRAWING AUG. 18, 2015



S.H. 161

NORTH BOUND
SOUTH BOUND

LAND DATA	BUILDING DATA	LOT/ROW DATA	SPOT ELEVATION
LAND AREA GROSS 656,006SF/ AC 15.060 +- ROW # LOSS SHADY GROVE DR. 6,000 SF.+-	BUILDING UNDER ROOF 266,450 SF.+- 28' CLEAR FIRST BAY IN	107,900 SF. 1/325-SF. 158,650 SF.+- 1/500-SF. + 20'- PARKING REQUIRED BY CODE	SEPTEMBER 24, 2015
LAND AREA NET. +- SITE COVERAGE 41%	32 CAR+ 52 CAR+ 380 CAR+ 381 BAYS 28 DOCK DOORS 9' X 10' V-FIRE PROTECTION SYSTEM	" 332 CAR+ 52 CAR+ 380 CAR+ 381 BAYS 28 DOCK DOORS 9' X 10' V-FIRE PROTECTION SYSTEM	
HARDY MCCULLUM MLM ARCHITECTS, INC	650,006SF/ AC 14.92 +-	1,771 sqft lot 8,263 sqft building 1,771 sqft building	1,771 sqft building
		1771-100-1000 DRAFT, DRAFT, DRAFT	1771-100-1000 DRAFT, DRAFT, DRAFT



DRAWING REVIEW
 SHEET NUMBER
 PROJECT NUMBER
 DRAWN BY
 CHECKED BY
 DRAWING NUMBER
 DATE OF DRAWING
 DRAWN BY
 DRAWN BY
 DATE OF DRAWING

HARDY MCCULLAH/LML ARCHITECTS, INC.
 2221 Peachtree Drive, Suite 2200 - Duluth, Georgia 30095 - 404.948.5100



HARDY MCCULLAH MLM ARCHITECTS/MLM
DALLAS, TEXAS 75251
FOOTPRINTS
17' 11 1/2" x 40'

REVISIONS	DATE	DESCRIPTION

TRINITY 161 CENTER



WEST ELEVATION 44,181 SF
STONE PROVIDED 7,844 SF -
17% STONE

ELEVATION
WEST

SERVICE RD. 161 TOLLWAY
WEST ELEVATION
AUG. 18, 2015

SEP 30 2015

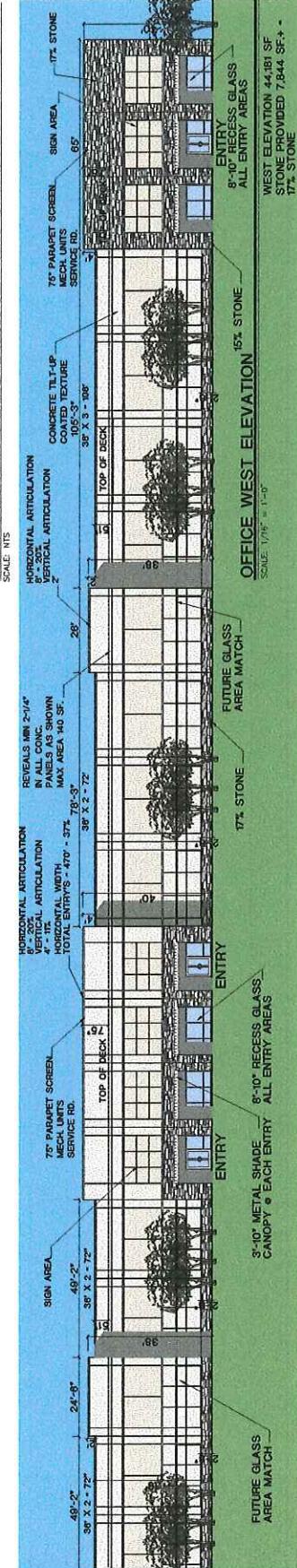
HARDY MCCULLAH MLM ARCHITECTS, INC.
12221 Forest Drive, Suite 210 Dallas, Texas 75251 972-364-1100

DRAWING REVIEW
DRAFTS
PROJECT MANAGER
DESIGN MANAGER
OWNER ARCHITECT
JULY 2015



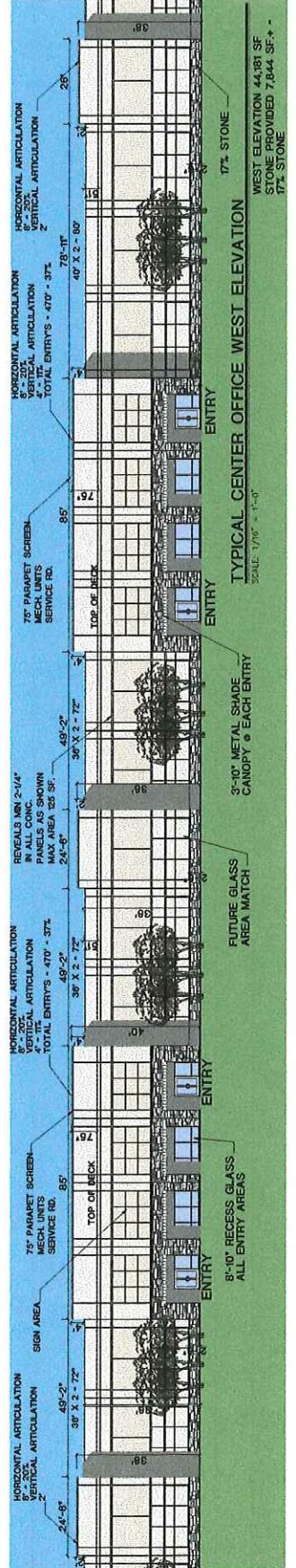
WEST ELEVATION SERVICE RD. 161 TOLLWAY

SCALE: 1/8"



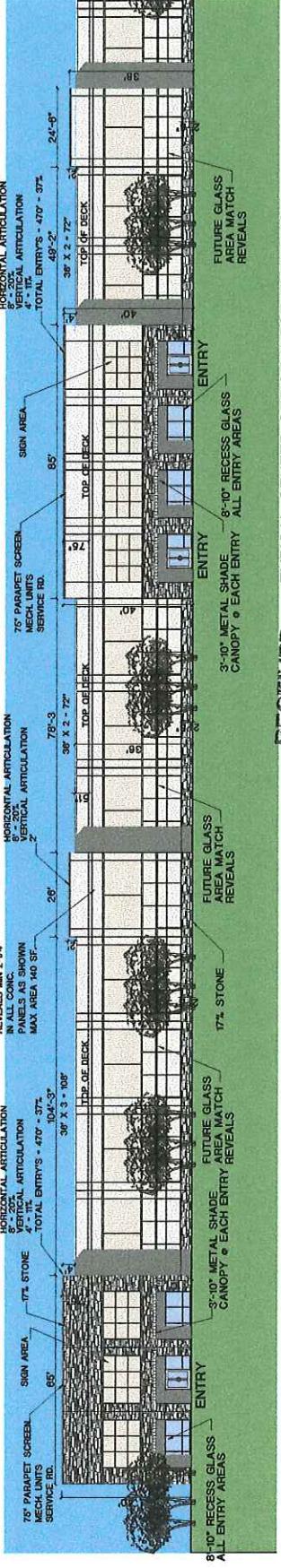
OFFICE WEST ELEVATION

SCALE: 1/8" = 1'-0"



TYPICAL CENTER OFFICE WEST ELEVATION

SCALE: 1/8" = 1'-0"



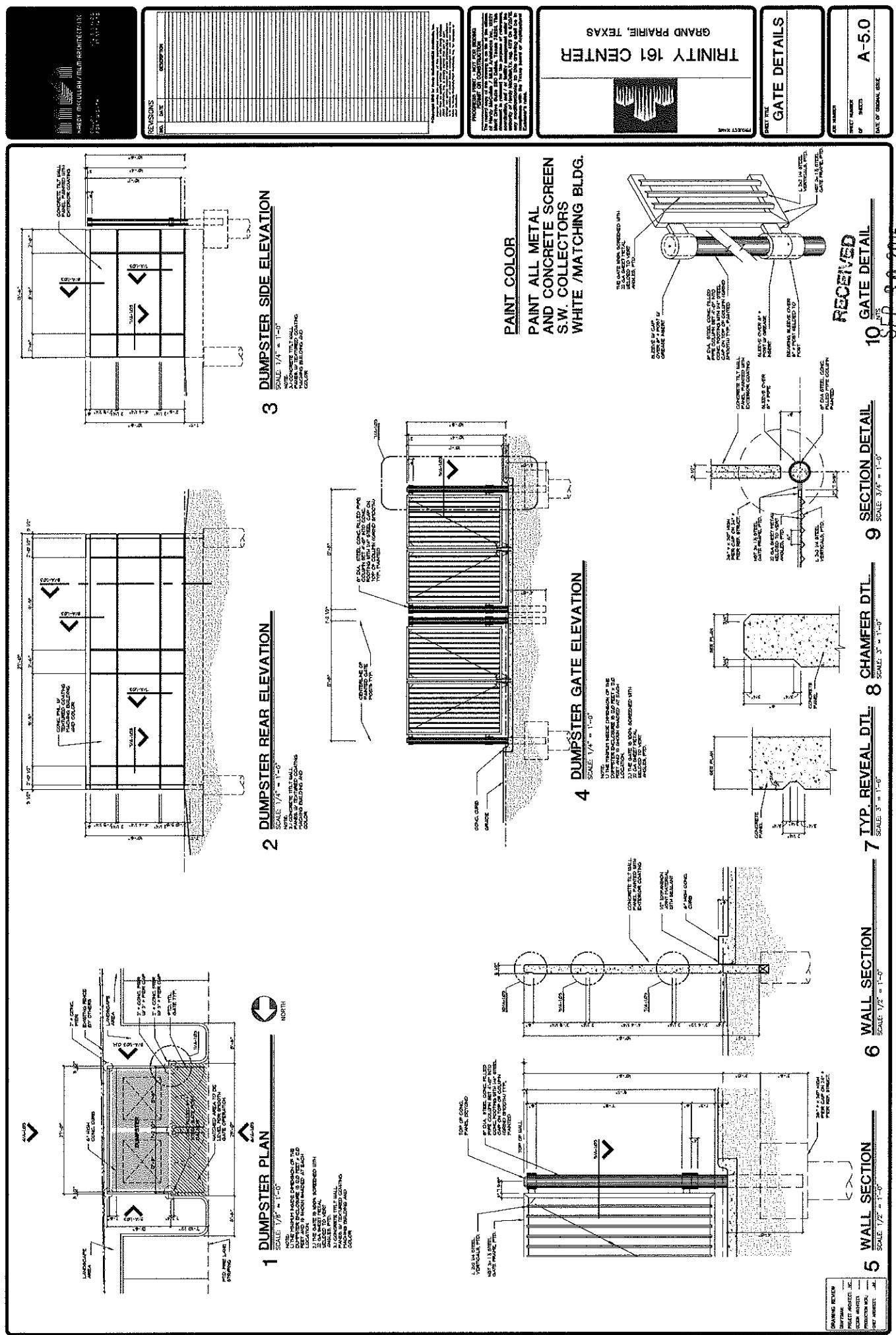
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TYPICAL CENTER OFFICE WEST ELEVATION

SCALE: 1/8" = 1'-0"

SERVICE RD. 161 TOLLWAY
WEST ELEVATION
AUG. 18, 2015

SEP 30 2015





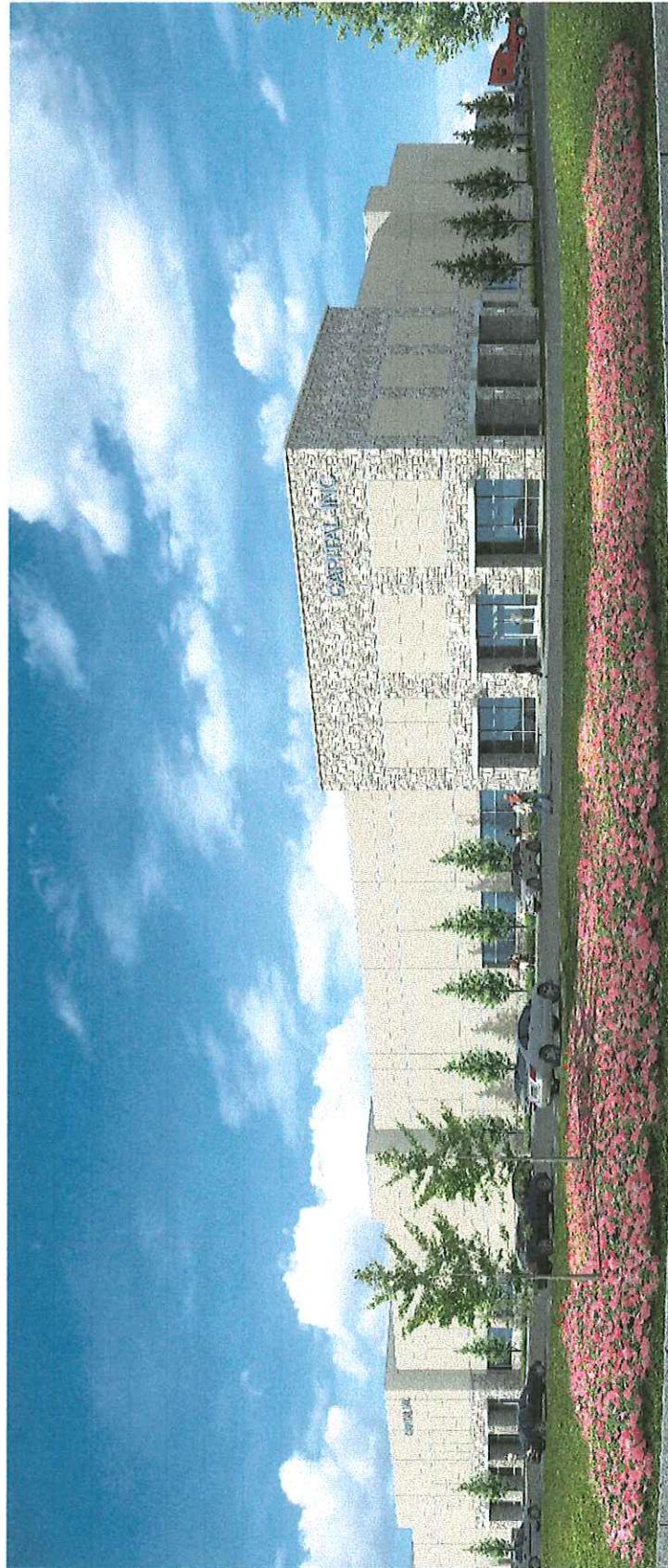
REVISIONS NO.	DATE	DESCRIPTION
		Initial drawing release.

PROFESSIONAL SERVICES AGREEMENT
PROJECT NUMBER: TRINITY 161
CLIENT: TEXAS TRAFFIC & TOLLWAY AUTHORITY
ARCHITECT: HARDY MCCULLOUGH ARCHITECTS INC.
PERIOD OF PERFORMANCE: January 1, 2015 - December 31, 2016
DRAFTS: All drawings, plans, specifications, schedules, bills of material, reports, and other documents prepared by the Architect for the Project, including all addenda, supplements, and changes thereto, shall be furnished to the Client in electronic media, in quantities and formats as agreed upon by the双方
TERRITORY: The area bounded by the Texas Tollway, the Trinity River, and the I-35W Bridge, located in the City of Grand Prairie, Texas. This area is approximately 1,000 feet wide and 10,000 feet long. The boundaries of the Project will be determined by the Texas Tollway Authority, and the Architect shall not be responsible for any changes in the boundaries of the Project or any additional work resulting therefrom.

GRAND PRAIRIE, TEXAS
TRINITY 161 CENTER

BUILDING
RENDERING

A-O
DRAWING NUMBER
SHEET NUMBER
OF SHEETS
DATE OF ORIGINAL ISSUE



VIEW FROM TRINITY BLVD. @ 161 TOLLWAY INTERSECTION



TYPICAL OFFICE AREA ENTRY



TYPICAL OFFICE AREA ENTRY



TYPICAL OFFICE AREA ENTRY

SEP 30 2015

PLANNING DEPARTMENT

DRAWING REVIEW
DEPARTMENT: PROJECT ARCHITECTS, INC.
DRAWING NUMBER: TRINITY 161 CENTER NO. 1
DATE OF ORIGINAL ISSUE: JUN 12, 2015
DRAWING NUMBER: A-O
SHEET NUMBER: 1
DATE OF ORIGINAL ISSUE: JUN 12, 2015