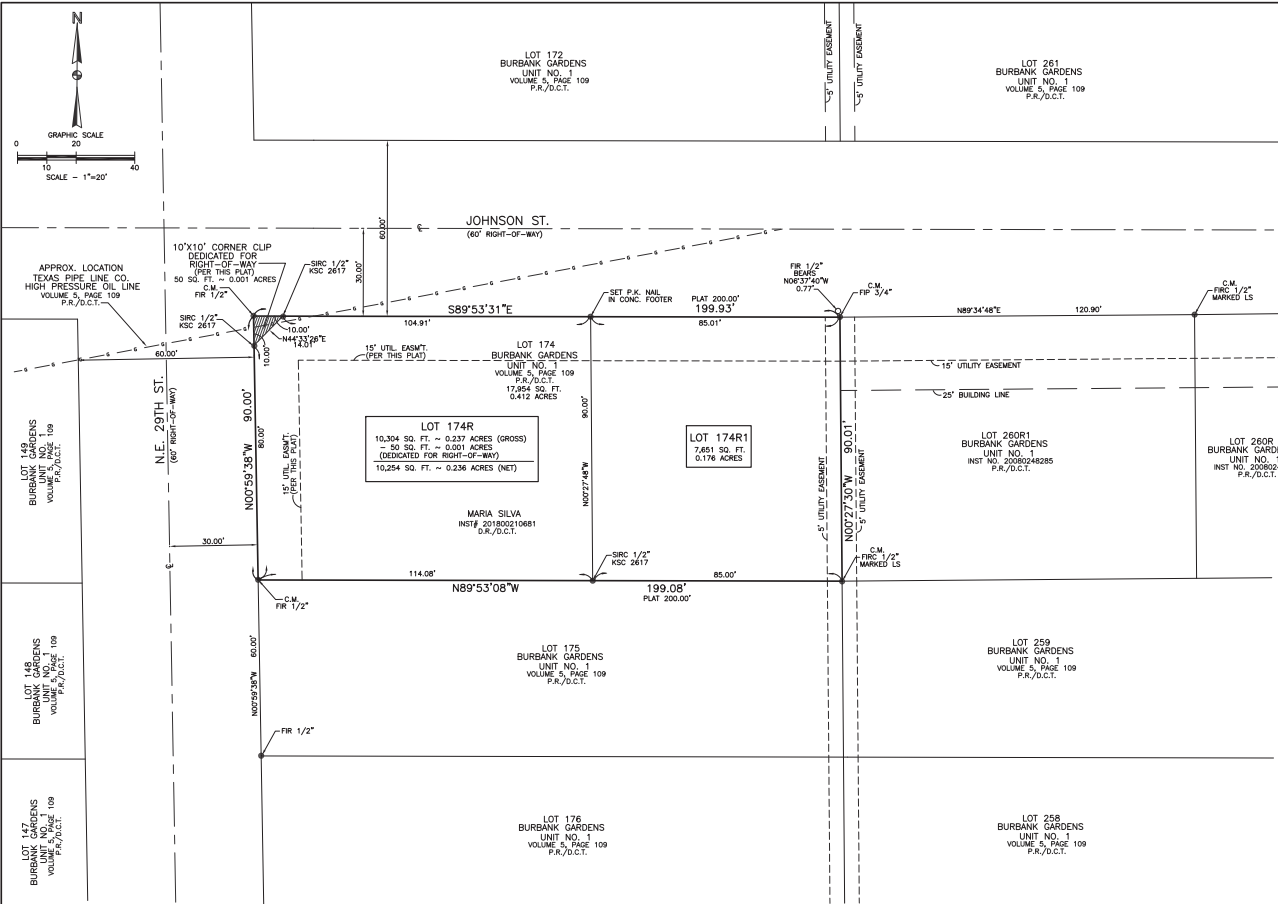


Exhibit B



DEDICATION:

State of Texas:  
County of Dallas:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT MARIA SILVA, acting by and through the undersigned it's duly authorized agent, does hereby adopt this plat designating the hereon above described property as LOT 174R AND LOT 174R1, BURBANK GARDENS ADDITION UNIT NO. 1, an addition to the City of Grand Prairie, Texas, and does hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and stormwater management areas shown thereon. The easements shown thereon are hereby dedicated and reserve for the purposes as indicated. The utility, access and fire lane easements shall be open to the public and private utilities for each particular use. The maintenance of paving on the utility, access and fire lane easements is the responsibility of the property owner. No buildings or other improvements or growths, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinances. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities all at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission or anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters on any maintenance and services required or ordinarily performed by that utility.

Witness my hand at \_\_\_\_\_ County Texas this \_\_\_\_ day of \_\_\_\_\_, 2018.

MARIA SILVA  
(Owner)

ACKNOWLEDGMENTS:

STATE OF TEXAS:  
COUNTY OF DALLAS:

Before me the undersigned authority, a Notary Public, on this day personally appeared MARIA SILVA known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office on the \_\_\_\_ day of \_\_\_\_\_, 2018.

NOTARY PUBLIC  
My Commission Expires \_\_\_\_\_

OWNERS CERTIFICATE:

State of Texas:  
County of Dallas:

WHEREAS, MARIA SILVA, is the sole owner of Lot 174, Burbank Gardens Addition, Unit No. 1, City of Grand Prairie, according to the deed thereof recorded in Inst. No. 201800210681, of the Deed Records of Dallas County, Texas, and more particularly described as follows;

LEGAL DESCRIPTION:

BEING a 0.412 acre tract of land being known as all of Lot 174, Burbank Gardens Addition, Unit No. 1, an Addition to the City of Grand Prairie, Dallas County, Texas, according to the Plat thereof recorded in Volume 5, Page 109, of the Plat Records of Dallas County, Texas.

SURVEYORS CERTIFICATE:

Know All Men By These Presents:

I, M. L. Mitchell, a Registered Professional Land Surveyor in the State of Texas, does hereby certify that I have prepared this plat from an actual on the ground survey of the land, and the monuments shown hereon were found and/or placed under my personal supervision in accordance with the rules and regulations of the City Plan Commission of the City of Grand Prairie, Texas.

PRELIMINARY FOR REVIEW ONLY  
NOT TO BE RECORDED FOR ANY PURPOSE

M. L. Mitchell  
Registered Professional Land Surveyor  
Texas Registration No. 2617

ACKNOWLEDGMENTS:

STATE OF TEXAS:  
COUNTY OF DALLAS:

Before me the undersigned authority, a Notary Public, on this day personally appeared M. L. Mitchell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office on the \_\_\_\_ day of \_\_\_\_\_, 2018.

NOTARY PUBLIC  
My Commission Expires \_\_\_\_\_

FINAL PLAT  
LOT 174R AND LOT 174R1  
BURBANK GARDENS UNIT NO. 1  
CONTAINING 17,954 SQ. FT. OR 0.412 ACRES  
AN ADDITION TO  
THE CITY OF GRAND PRAIRIE,  
DALLAS COUNTY, TEXAS  
BEING A REPLAT OF LOT 174  
BURBANK GARDENS UNIT NO. 1  
CITY OF GRAND PRAIRIE  
DALLAS COUNTY, TEXAS

DATE: NOVEMBER 13, 2018  
REVISED: DECEMBER 13, 2018

CASE NO. RP190101

Surveyor's Notes:  
1. C.M. ~ Denotes Controlling Monuments.  
2. I have examined the Flood Insurance Rate Map for the City of Grand Prairie, Dallas County, Texas, Community Panel No. 4811300315, Suffix K, Map Effective Date: 7-7-14, Zone "X", and it appears that no part of the subject property lies in any special flood hazard area.  
3. The basis of Bearing for this survey is the Texas State Plane Coordinate System, NAD83, Texas North Central Zone, 4202, based upon GPS measurements, according to the Leica GPS Reference Network.  
Distances shown are surface.  
4. Existing or future minimum set-backs established by the city ordinance shall take precedence over building lines indicated on this plat. Zoning classification indicated on this plat reflects zoning in place at the time this plat was approved and do not represent a vested right to the zoning indicated.  
5. The purpose of this plat is to create two lots out of one lot as shown.  
6. Grading and drainage for each lot is required at time of building permit submittal.

LEGEND:  
FIR ~ FOUND IRON ROD  
FIP ~ FOUND IRON PIPE  
P.R./D.C.T. ~ PLAT RECORDS, DALLAS COUNTY TEXAS  
D.R./D.C.T. ~ DEED RECORDS, DALLAS COUNTY TEXAS  
FND. ~ FOUND  
SIR ~ SET IRON ROD  
CL ~ CENTERLINE  
SL ~ SURVEY LINE

OWNERS:  
MARIA SILVA  
738 NE 29TH ST.  
GRAND PRAIRIE, TEXAS 75051-0204  
PH# (469) 230-9589

PREPARED BY:  
KEETON SURVEYING COMPANY  
M.S. KEETON  
REGISTERED PROFESSIONAL LAND SURVEYOR  
2037 DALWORTH STREET P.O. BOX 530204  
GRAND PRAIRIE, TEXAS 75051-0204  
EMAIL:ksc4019@sbcglobal.net  
PHONE: (972) 641-0843 FAX: (972) 647-0154