

## 6. P170606 – Preliminary Plat – Clearview Estates

CURRENT PLANNING: Savannah Ware (972) 237-8255

1. Please make the following revisions and corrections and provide any additional information that is requested.
2. Respond to all comments in writing.
3. The applicant may contact any member of staff to schedule a meeting to discuss any issues with the review process.
4. The DRC Meeting will be held on May 25, 2017 at 9:30 AM in The Grand Conference room of the Development Center, 206 W. Church Street. Attendance at this meeting is mandatory.
5. Please bring three copies of the revised plans and one copy of the written response to the DRC meeting.

**General Comments**

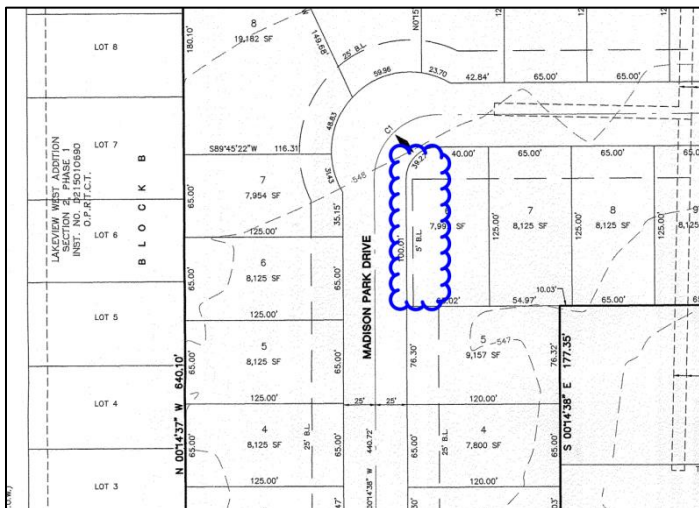
6. The subject site is within Public Improvement District #8 (PID #8). Contact Lee Harriss (972-237-8091 or [LHarriss@gptx.org](mailto:LHarriss@gptx.org)) to determine what steps you must take to add Clearview Estates to the PID.
7. A Homeowners Association is required to maintain open space lots and the mail kiosk. Provide a draft copy of the HOA documents for review.
8. USPS requires that new subdivisions provide a centralized mail delivery kiosk. Contact Scott Wright (972-393-6433 or [scott.l.wright@usps.gov](mailto:scott.l.wright@usps.gov)) to determine what steps you must take to establish a service delivery agreement with USPS.
9. What is the status of the TXU easement? Has it been abandoned? If not, when?
10. The street Lilly Drive is too similar to Lily Court (an existing street). The street Madison Park Drive is too similar to Madison Drive (an existing street). Please submit alternative street names. Colby Collins (972-237-8252 or [ccollins@gptx.org](mailto:ccollins@gptx.org)) is responsible for addressing and will determine if new street names can be used.
11. Tarrant Appraisal District still lists Rafah Real Estate LLC as the property owner. Please submit documentation that the property has been sold and is now owned by Clearview Estates Lot Venture Ltd.
12. Are there plans to plat the remainder of the two tracts? It is Staff's preference that the remainders be included in this plat.

**Plat Revisions**

13. Add "Case Number P170606" to the lower right corner.
14. Indicate the number of residential lots and open space lots in the title block.
15. Provide a table with the following information: Lot, Block, Acreage, Square Footage, Lot Width, and Lot Depth. Ensure that all lots meet the minimum width and depth.
16. Replace Block 1 with Block A and Block 2 with Block B.
17. Add an "X" to the lot designation for the lots that will be dedicated to the HOA.
18. Add the following notes to the notes section:
  - The purpose of this preliminary plat is to provide for the general layout and location of proposed lots, streets, access approaches, easements, and other requirements prior to full civil engineering necessary for a final plat.

**I=Informational Comments****M= Mandatory Comments****R=Recommended**

- It is the further purpose of this preliminary plat to establish the development framework necessary to ensure the delivery of services to each lot; including, but not necessary limited to: water, sewer, storm drain, utilities, and ingress/egress to the public street system. The dedication or establishment of additional right of way, cross-access easements, utility and drainage easements, and/or other necessary easements, as required by the City, shall be provided at the time of final plat.
  - Open space lots shall be maintained by the HOA. The City of Grand Prairie is not responsible for maintenance of open space lots.
19. Add the following information to the notes section:
- Total area, in square feet, devoted to right-of-way.
  - Net density for the subdivision.
20. A centralized mail kiosk is required and must be located on an open space lot. Revise the layout to include an open space lot for the mail kiosk. Staff recommends considering the location clouded in blue shown below.

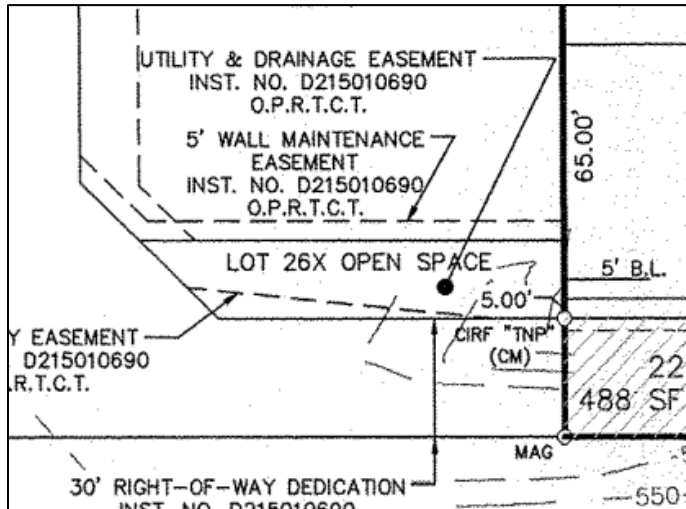


- Resolution 3924 requires a 20' side setback along streets with ROW greater than 50 feet. A 20' side setback is required for Lots 1 and 20, Block 1 and Lot 1, Block 2.
- The side yard on Lot 6, Block 2 is considered a front yard. A 25' setback is required.
- Confirm with Daon Stephens in Transportation that the visibility easements are sufficient.
- Provide a 5' wall maintenance easement on the residential lots adjacent to the location of screening wall (see below).

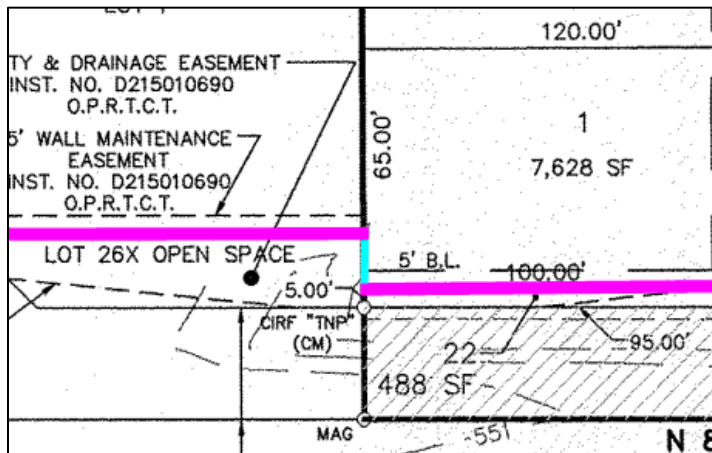
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25. The screening wall will need to continue along the back of Lot 1 and Lot 20 (blue) to close the gap between the two screening walls (pink). The wall maintenance easement should continue along this portion.



CURRENT PLANNING: Colby Collins (972) 237-8255

- I. 1. No comments.

ENGINEERING/FLOODPLAIN: Stephanie Griffin/Brent O'Neal (972) 237-8141

- M. 1. For future reference, any improvements on this property will require a floodplain development permit.  
 M. 2. Show right-of-way dedication on Seeton Road.  
 M. 3. Plat remainder of property.  
 M. 4. Third party drainage review of detention and drainage systems will be required.

**Note to applicant: Some comments below may not pertain to your development. Contact the Development Coordinator for clarification.**

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Approval of a project by the Planning and Zoning board, and/or City Council, does not release the Building Inspections Permit or Public Works Permit for construction.

It is the developer's responsibility to confirm with the Planning Department if the property is to be (re-platted, preliminary, and/or final) platted.

It is the developer's responsibility to submit all required escrow funds for third party drainage review for public improvements prior to construction plan submittal.

It is the developer's responsibility to confirm the submittal of plans for review to the Engineering Division.

It is the developer's responsibility to submit all required escrow funds for third party geotechnical and material testing for public improvements that are to be dedicated to the City prior to release of the construction permit.

It is the developer's responsibility to submit all required information to establish a pro-rata for water or wastewater prior to release of the construction permit.

Final engineering plans released for construction are required prior to the recording of the final plat.

It is the developer's responsibility to submit any required escrow funds for streets or sidewalks.

A preliminary drainage plan that meets City Code may be required. The plan shall address possible need for detention and provide preliminary storm drain layout and sizing for all lots.

Contractor/Owner shall not alter, impede, or redirect the surface flow of storm water runoff per State requirements and shall control erosion on the site per federal, state, and local requirements. Grading, drainage, and erosion control plans, released for construction are required prior to filing the final plat. Such plans shall include complete plans and profiles of all storm drainage facilities with hydrologic and hydraulic information. Proposed storm drain hydraulics shall tie to existing downstream storm drain hydraulics. Where applicable, drainage from the site shall discharge into a drainage easement and shall convey flow to a stream without causing erosion or flooding. The 100-year overflow shall be conveyed in a drainage easement.

Delineate the fully developed floodplain on plats and drainage plans with flood elevations and minimum finished floor elevations for structures. Floodplains and/or maximum water surface elevation for bodies of water shall be dedicated as drainage right-of-way (ROW) or in a drainage easement upon the plat. Drainage ROW shall be dedicated fee simple to the City of Grand Prairie. Also provide cross sections showing that limits of drainage easement have a maximum 4:1 slope from the streambed. Proposed slopes greater than 4:1 must be supported by an engineered design and will be reviewed on a case-by-case basis by the Engineering Department. Any work within floodplain will require Floodplain Development Permit and, if applicable, FEMA approval.

Delineate any erosion hazard setback upon the plat.

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Any future improvements may require investigation of the adequacy of the downstream drainage system to convey increased flows. Construction plans for downstream improvements shall be required if the downstream system is not adequate to convey the increased flows. Proposed flows shall be within drainage easements or ROW's with no erosive velocities. This may require detention or additional detention or other improvements.

Add a note to preliminary plats:

The subject property is (or, is not) located within the 100 year floodplain per FIRM Panel # \_\_\_\_\_, dated \_\_\_\_\_.

Where applicable and prior to construction, submit certification by a professional that site does not have wetlands and other waters of the United States, an investigation showing that site development will not impact wetlands and other waters of the United States, or a permit for proposed activities in wetlands and other waters of the United States. Wetlands and other waters of the United States are as defined in Section 404 of the Clean Water Act. All delineation's shall certify that they were conducted per U.S. Army Corps of Engineers' requirements. An agreement stipulating that the owner is responsible for maintenance of any wetland mitigation areas is required prior to construction.

Specify on plat that streams are to remain natural and maintenance of ponds and streams are solely the responsibility of the property owner or Home Owners Association (HOA).

Off-site detention ponds and appurtenances shall be within a drainage easement. A maintenance agreement shall be filed as separate instrument. The property owner or HOA shall be responsible for maintenance.

Owners or contractors must file a Notice of Intent (NOI) with the United States Environmental Protection Agency (USEPA) for storm water (general) management permits before beginning site work on any tract which involves five (5) acres or more, or on any lot which is a portion of a tract which involves five (5) acres or more. Contractors must have submitted a NOI to the USEPA, with copies to the City's Environmental Services Department, at least two (2) days in advance of the start of the project. Contact the stormwater management office of the USEPA at (214) 665-7175 and the City of Grand Prairie Environmental Services Department at (972) 237-8055.

A plan which has been prepared and sealed by a licensed engineer showing storm water quality best management practices (BMPs) for construction activities must be submitted with building permit applications. BMPs must comply with North Central Texas COG BMP manual, Storm Water Quality Best Management Practices for Construction Activities. Contact the City of Grand Prairie Environmental Services Department at (972) 237-8055.

Provide statement on the plat for perpetual maintenance agreement for any existing ponds.

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Specify minimum finished floor elevations on the preliminary plat for lots adjacent to the floodway.

Every source or potential source of contamination which is connected to (or has the capacity to cause a threat to) any public water supply within the City that is present in any commercial establishment must be equipped with protection that is required under the provisions of City Code Chapter 13 Article X. Any devices required must be shown on all plans submitted for review by the City. Contact the City of Grand Prairie Environmental Services Department at (972) 237-8055 to schedule inspections of any new or relocated cross-connection control devices.

The Environmental Services Department will require that a sample point be installed on the sanitary sewer line for commercial developments. The location and a drawing of the sample point must be shown on the plans submitted for review with your application for a building permit. Structure and location should meet the requirements of the department. Contact the City of Grand Prairie Environmental Services Department at (972) 237-8055. [City code 26-53]

The Environmental Services Department must review all manufacturing or industrial operations before construction is begun. [City code 26-51]

Impact fees for water and wastewater are set by ordinance and cannot be waived by staff. Pro-rata charges, impact fees, tap fees, and meter fees will be due prior to issuance of building permit.

All required escrow funds for public improvements shall be submitted by the developer. Most escrow funds are required to be in place prior to construction plan submittal.

Provide lighting plans for lights being installed within residential subdivisions and lights installed along the right-of-way of perimeter streets.

Plans for retaining walls (over 4' tall) and screening walls shall be site specific, prepared by an engineer licensed in the State of Texas, and submitted with construction plans.

The design engineer shall obtain approval from the Trinity River Authority for sewer connection to TRA lines and for any utilities crossing TRA lines.

The design engineer shall obtain approval from the Corp of Engineers for utilities that cross or run through Corp property.

Extension of water and sewer facilities that are needed to serve the development will be at the developer/owners expense.

The owner/developer shall make request for City participation in construction or funding of public infrastructure prior to the approval of final plat.

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Provide water and sewer plans for new lots and a lot grading plan that meets current standards of the UDC.

All utility easements along street rights-of-way to be shown as 15' wide utility easements and show 7.5 foot utility easements along the rear of all lots. Side and rear lot easements may be modified or omitted upon request and if accepted by the Planning and Development Division. The design engineer and developer shall coordinate the proposed easements with franchise utilities and the City prior the submitting the final plat.

Offsite easements are required to be dedicated by separate instrument. The design engineer and developer shall coordinate the recordation of offsite easements with the City Right-of-way Agent. Documents for offsite easements shall be submitted with the civil design package to the Engineering Division and shall be deemed ready for recordation by the City Right-of-way Agent prior the filing the final plat and/or release of the plans for construction.

No signs or roof overhang are permitted to encroach in any easement per the UDC.

Lots with screening walls shall have a 5' wall easement adjacent to the property line and an adjacent 10' minimum utility easement. To avoid conflicts, these easements shall not overlap.

Dedication of right-of-way along street frontage shall be per the City of Grand Prairie Thoroughfare Plan. Dedication of corner clips at all street intersections shall be per the Transportation Division.

The design engineer shall be responsible for coordination and obtain all permits for access to, and construction within TxDOT right-of-way.

ENVIRONMENTAL SERVICES: Terri Blocker, (972) 237-8461

M. 1. ON-SITE SEWAGE FACILITIES:

Per TCEQ rules §285.36, owners of any property where an abandoned septic tank is located must have the wastewater/septage removed by a licensed liquid waste transporter, holding a valid registration with both the TCEQ and City, and back fill the tanks(s) with sand or other suitable fill material (less than three inches in diameter).

M. 2. WATER WELLS: Please note any abandoned or currently used water wells on the preliminary and final plat. According to the City of Grand Prairie ordinance and the Texas Water Code Chapter 32 § 32.017, Plugging of Water Wells, owners of any property where an abandoned well is located must have the well plugged by a licensed well driller, holding a valid registration with the TCEQ. A permit will be required to abandon the well. In addition a copy of the well completion report must be supplied to the Environmental Services Department before any building permit will be issued.

M. 3. SOIL TESTING: For development of a tract of land that is greater than one acre in area, the applicant must provide documents demonstrating compliance

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with Title 30, Part 1, Chapter 330, Subchapter T of the Texas Administrative Code relating to the use of land over closed municipal solid waste landfills.

BUILDING INSPECTIONS: Rob Ard, (972) 237-8230

I. 1. No comments.

TXU ELECTRIC DELIVERY: Charles Lowe, (972) 216-8951

I. 1. No comments.

ATMOS GAS: Richard Johnson, 620-332-7662

I. 1. No comments.

WATER UTILITIES: Ron McCuller (972) 237-8154

I. 1. No comments.

FIRE DEPARTMENT: Joel Anderson, (972) 237-8300

Addresses will be assigned by the City.

Residential house address numbers must be properly posted in accordance with City Ordinance, with standard Arabic numerals at least four (4) inches in height with a ½-inch stroke.

Any development containing more than 30 one- or two-family residential dwelling units must be provided with two separate fire apparatus access roads (either public street or private fire lane) a distance apart not more than one-half the maximum diagonal dimension of the development. Both access points must be in place prior to occupancy of the 31<sup>st</sup> residence.

Fire hydrants shall comply with the following requirements/specifications:

- Be located within five hundred (800) feet of all portions of a single-family residence
- Be located at 500-foot intervals for single-family residential development
- Be protected from vehicular damage, either by location in a median not more than six (6) feet from the curb, or protective bollards
- Have a three (3)-foot clear area around them
- Have a main “steamer” cap with a diameter of 4½ inches with two side 2½-inch discharges, all threaded with national standard thread (NST)

Grade of streets must not exceed 6% nor have a cross slope greater than 3%.

Residential streets, when constructed, must be of appropriate width based on the parking configuration permitted (one side of street, both sides, or none). This requirement is in addition to requirements of other codes, specifically Transportation.

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PARKS & RECREATION: Ken Unkart, (972) 237-8140

- I. 1. No comments.

CODE ENFORCEMENT DIVISION: Steve Collins, (972) 237-8041

- I. 1. No comments.

POST OFFICE: Scott Wright, (972) 393-6433

- I. 1. No comments.

TRANSPORTATION SERVICES: Daon Stephens, (972) 237-8319

- M. 1. Bold the new property line and hash out the ROW dedication.
- M. 2. Where is the open/common area for the common mail box?
- M. 3. Provide wall easement for developer wall to be maintained by HOA.
- M. 4. Provide sight distance information on separate page showing visibility around wall with new roadway alignment. Provide visibility easements to provide sight distances.
- M. 5. Construct sidewalks along all street frontages including Seeton Road.
- M. 6. The streets intersecting with Seeton Road need to provide 60' of right-of-way to allow for 75' of taper, 100' of stacking from 27' to 37' of paving.
- M. 7. Provide/locate Landscape and wall easement adjacent to Seeton. Corner clips along Seeton need to be 15'x15' dedication.
- M. 8. Dedicate 60' of right-of-way for Seeton curve

AT&T: David Lucas (972) 660-0377

- I. 1. No comments.

TIME WARNER CABLE: Scott Allen, (214) 320-5429

- I. 1. No comments.

POLICE DEPARTMENT: Sgt. Eric Hansen, (972) 237-8906

- I. 1. No comments.