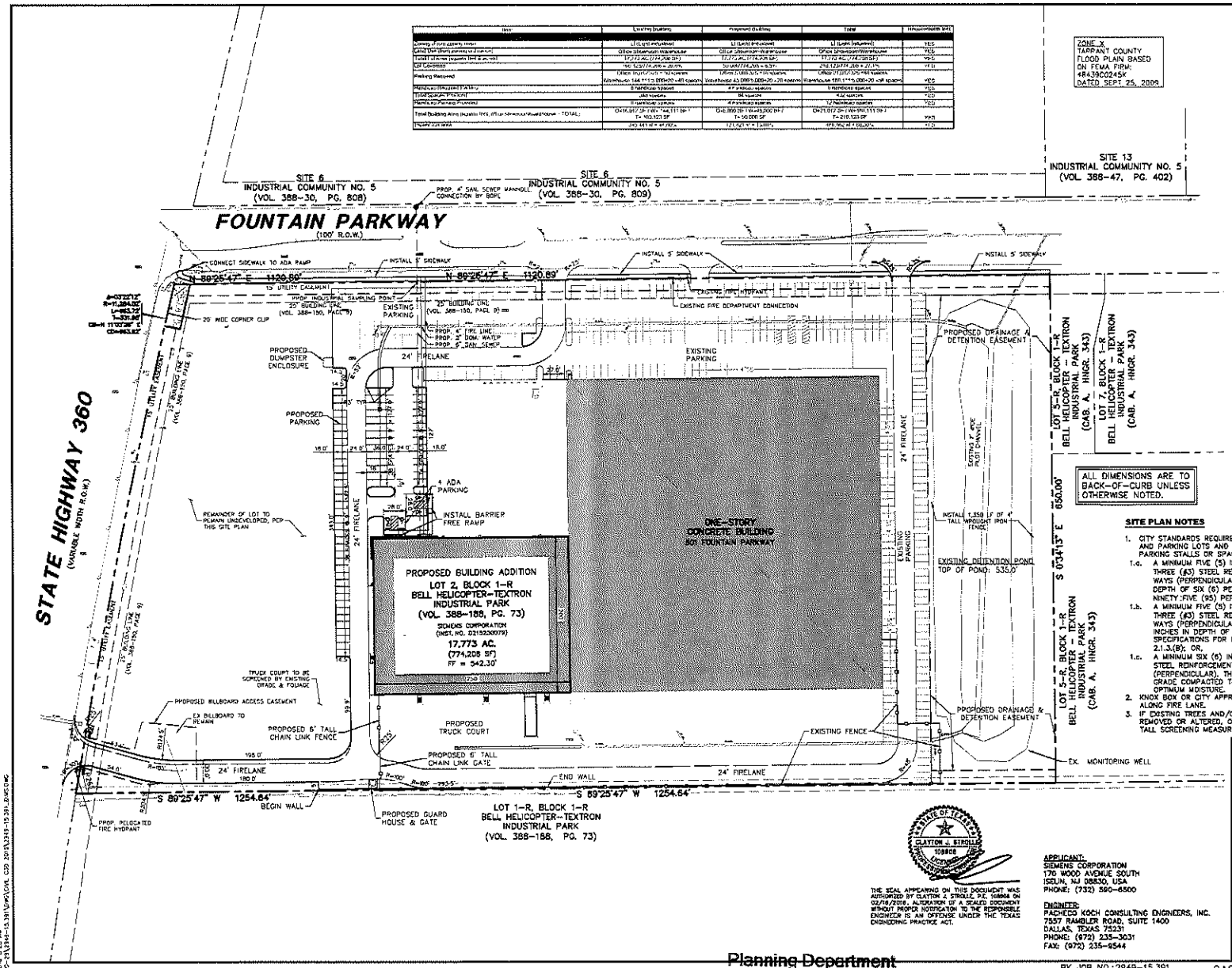
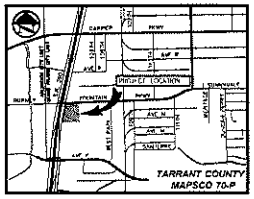
Item	Existing Building	Proposed Building	Total	Requirements Met
Zoning (Form Zoning Map)	LI (Light Industrial)	LI (Light Industrial)	LI (Light Industrial)	YES
Land Use (Form Zoning Ordinance)	Office Showroom/Warehouse	Office Showroom/Warehouse	Office Showroom/Warehouse	YES
Total Gross Acreage (Net S.A.)	17.773 AC (774,208 SF)	17.773 AC (774,208 SF)	17.773 AC (774,208 SF)	YES
LIP Coverage	116,163/774,208 = 20.0%	50,608/774,208 = 6.53%	216,123/774,208 = 27.91%	YES
Parking Required	Office 10,000/300 = 33 spaces Warehouse 144,111 ÷ 2,000=72 = 45 spaces	Office 2,000/300=20 = 20 spaces Warehouse 43,000/2,000=20 = 20 spaces	Office 12,000/300 = 40 spaces Warehouse 187,111÷2,000=94 = 94 spaces	YES
Parking Provided (Total)	0 handicap spaces	4 handicap spaces	0 handicap spaces	YES
Total Spaces Provided	160 spaces	86 spaces	246 spaces	YES
Parking Provided (Handicap)	0 handicap spaces	4 handicap spaces	12 handicap spaces	YES
Total Building Area (Inclusive Office, Office Showroom/Warehouse - TOTAL)	Office 10,000 SF + Warehouse 144,111 SF = 160,123 SF	Office 2,000 SF + Warehouse 50,000 SF = 52,000 SF	Office 12,000 SF + Warehouse 187,111 SF = 199,123 SF	YES
Impervious Area	140,161 SF = 81.0%	121,623 SF = 70.0%	261,784 SF = 60.0%	YES

ZONE X
TARRANT COUNTY
FLOOD PLAIN BASED
ON FEMA FIRM:
48439C0245K
DATED SEPT. 25, 2009



ALL DIMENSIONS ARE TO BACK-OF-CURB UNLESS OTHERWISE NOTED.

GRAPHIC SCALE IN FEET
0 30 60 120 180



VICINITY MAP
(NOT TO SCALE)

LEGEND

- BOLLARD
- ELECTRIC METER
- POWER POLE
- LIGHT STANDARD
- WATER METER
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- CLEANOUT
- MANHOLE
- TRAFFIC SIGNAL CONTROL
- TRAFFIC SIGNAL POLE
- TELEPHONE BOX
- FLOOD LIGHT
- FLAG POLE
- TRAFFIC SIGN
- 1/2-INCH IRON ROD W/"PACHECO KOCH" CAP SET
- (C.M.) CONTROLLING MONUMENT
- PROPERTY LINE
- FENCE
- PROPOSED FENCE

SITE PLAN NOTES

1. CITY STANDARDS REQUIRE THAT ALL NON-RESIDENTIAL PRIVATE ACCESS DRIVES, FIRE LANES AND PARKING LOTS AND ALL PRIVATE ACCESS WAYS, DRIVES, FIRE LANES AND ACTUAL PARKING STALLS OR SPACES SHALL BE CONCRETE AND CONSTRUCTED OF:
   1.a. A MINIMUM FIVE (5) INCHES OF 3000 PSI (5-SACK MIX MINIMUM) CONCRETE WITH NUMBER THREE (#3) STEEL REINFORCEMENT (REBAR) TWENTY-FOUR (24) INCHES ON CENTER BOTH WAYS (PERPENDICULAR). THIS SHALL BE PLACED ON TOP OF MINIMUM SIX (6) INCHES DEPTH OF SIX (6) PERCENT BY VOLUME LIME STABILIZED SUB GRADE COMPACTED TO NINETY-FIVE (95) PERCENT STANDARD PROCTOR DENSITY; OR
   1.b. A MINIMUM FIVE (5) INCHES OF 3000 PSI (5-SACK MIX MINIMUM) CONCRETE WITH NUMBER THREE (#3) STEEL REINFORCEMENT (REBAR) TWENTY-FOUR (24) INCHES ON CENTER BOTH WAYS (PERPENDICULAR). THIS SHALL BE PLACED ON TOP OF A MINIMUM OF SIX (6) INCHES IN DEPTH OF CRUSHED STONE BASE WHICH MEETS THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NORTH CENTRAL TEXAS ITEM 2.1.3.(5); OR,
   1.c. A MINIMUM SIX (6) INCHES OF 4000 PSI (5-SACK MIX MINIMUM) WITH NUMBER THREE (#3) STEEL REINFORCEMENT (REBAR) TWENTY-FOUR (24) INCHES ON CENTER BOTH WAYS (PERPENDICULAR). THIS SHALL BE PLACED ON TOP OF SCARIFIED AND RECOMPACTED SUB GRADE COMPACTED TO A DEPTH OF 8"TO 95% STANDARD PROTECTOR DENSITY AT OPTIMUM MOISTURE.
2. KNOX BOX OR CITY APPROVED EQUAL IS REQUIRED TO BE INSTALLED AT LOCKED GATES ALONG FIRE LANE.
3. IF EXISTING TREES AND/OR NATURAL EARTHEN BERM USED TO SCREEN THE TRUCK COURT IS REMOVED OR ALTERED, OWNER IS RESPONSIBLE WITH REPLACING WITH CITY APPROVED 8-FT TALL SCREENING MEASURES.

STATE OF TEXAS
CLAYTON J. STROLLE
108808
LICENSED PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CLAYTON J. STROLLE P.E. 108808 ON 02/18/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

APPLICANT:
SIEMENS CORPORATION
170 WOOD AVENUE SOUTH
ISELIN, NJ 08830, USA
PHONE: (732) 590-6500

ENGINEER:
PACHECO KOCH CONSULTING ENGINEERS, INC.
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031
FAX: (972) 235-8544

NO.	DATE	REVISION

Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193905

SITE PLAN
SIEMENS ADDITION
501 FOUNTAIN PARKWAY
BUILDING EXPANSION
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJS	EDS	FEB 2016	1"=80'			C0.2

CITY FILE NO.

SIEMENS ADDITION

PK JOB NO.: 2849-15.391

CASE NO.: S160304 CITY FILE NO.:

~~Planning Department~~

MAR 02 2016

Received

BENCH MARK LIST

G.P.5 — ALUMINUM ROD WITH ALUMINUM CAP STAMPED "G.P.5" INSIDE AN ALUMINUM ACCESS COVER SET FLUSH WITH THE GROUND. LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF AVENUE K AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360. (CITY OF GRAND PRAIRIE CONTROL MONUMENT G.P.5. 5)

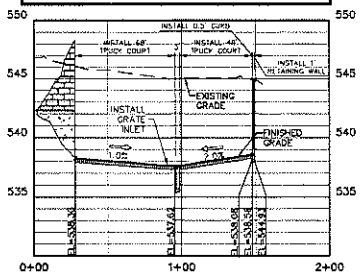
ELEV=547.76 (PUBLISHED) ELEV=547.56 (MEASURED)

BM# 3 — "X" CUT SET ON THE BACK OF CURB OF A MEDIAN LOCATED AT THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360.

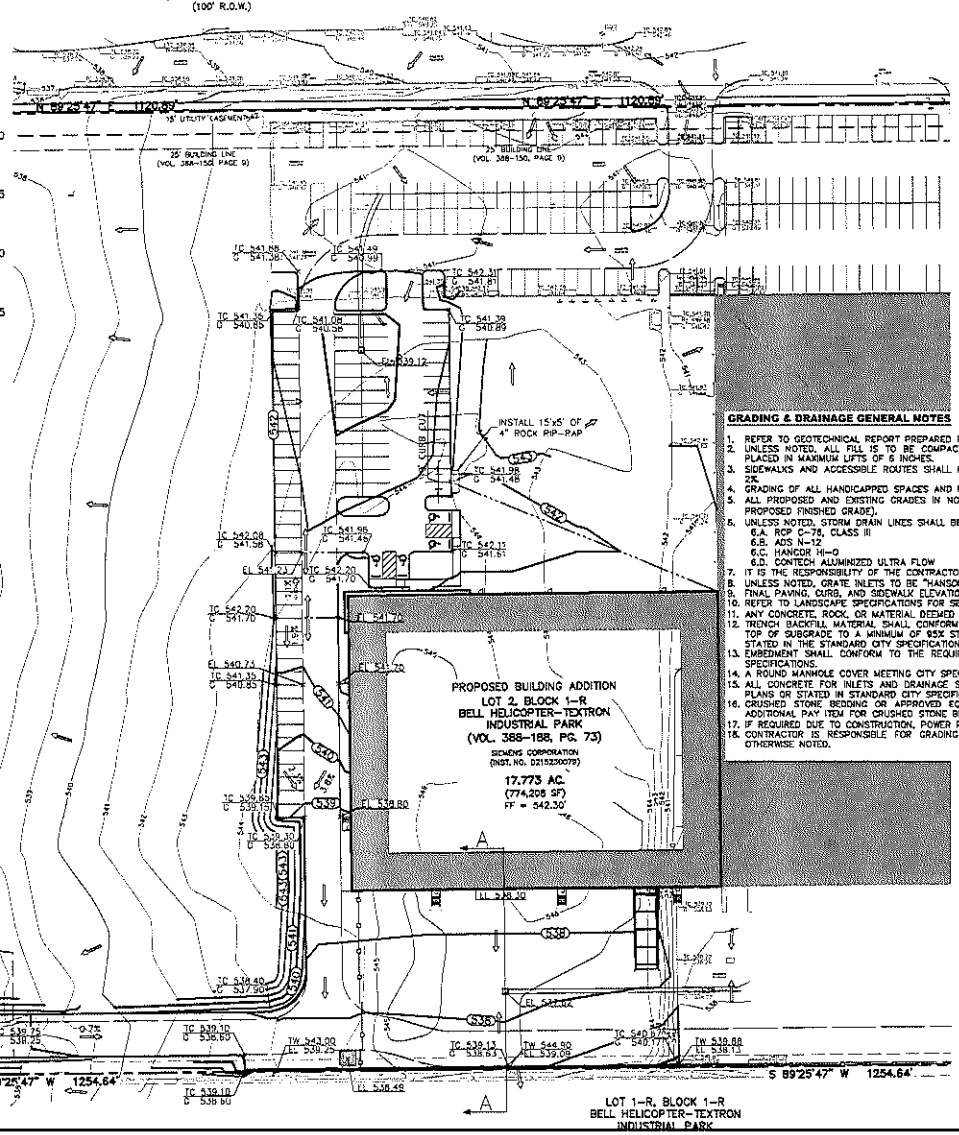
ELEV=537.89

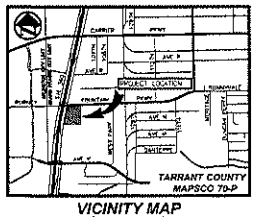
BM# 4 — "X" CUT SET ON THE CONCRETE NOSE OF A MEDIAN ON FOUNTAIN PARKWAY LOCATED ±450' EAST OF THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360.

ELEV=542.62



PROFILE: A–A





VICINITY MAP
(NOT TO SCALE)

NOTES:
1. REFER TO SHEET C0.1 FOR GRADING & DRAINAGE GENERAL NOTES.
2. SIDEWALKS & ADA ROUTES, 2.0% MAX CROSS SLOPE & 5.0% MAX RUNNING SLOPE.
3. SLOPE CONC. PAD FOR A/C UNITS AWAY FROM BUILDING (AT 2.0% TYP.).
4. 1.0% MINIMUM & 4:1 MAXIMUM SLOPE IN LANDSCAPE AREAS

0 20 40 80 120
GRAPHIC SCALE IN FEET

LEGEND

- BOLLARD
- ELECTRIC METER
- POWER POLE
- LIGHT STANDARD
- WATER METER
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- CLEANOUT
- MANHOLE
- TRAFFIC SIGNAL CONTROL
- TRAFFIC SIGNAL POLE
- TELEPHONE BOX
- FLOOD LIGHT
- FLAG POLE
- TRAFFIC SIGN
- 1/2-INCH IRON ROD
- W/"PACHECO KOCH" CAP SET
- (C.M.) CONTROLLING MONUMENT
- PROPERTY LINE
- FENCE
- OVERHEAD UTILITY LINE
- 613 EXIST CONTOUR
- 612.38 EXIST SPOT ELEVATION
- TC 615.20 / G 615.00 EXIST TOP OF CURB ELEVATION
- EXIST GUTTER ELEVATION
- 614.50 PROPOSED CONTOUR
- TC 614.50 / G 614.00 PROPOSED TOP OF CURB ELEVATION / PROPOSED GUTTER ELEVATION
- EL 614.25 PROPOSED SPOT ELEVATION
- M.G. MATCH EXISTING GRADE
- TW 620.50 / EL 614.00 PROPOSED TOP OF WALL ELEVATION / PROPOSED GROUND ELEVATION AT BOTTOM OF WALL
- PROPOSED SWALE
- X PROPOSED FENCE
- PROPOSED DRAINAGE FLOW DIRECTION

GRADING & DRAINAGE GENERAL NOTES

1. REFER TO GEOTECHNICAL REPORT PREPARED BY _____ DATED _____ FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
2. UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN MAXIMUM LIFTS OF 6 INCHES.
3. SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A RUNNING SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.
4. GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO FEDERAL, STATE, AND LOCAL GUIDELINES.
5. ALL PROPOSED AND EXISTING GRADES IN NON-PAVED AREAS ARE "FINISHED GRADE" (i.e. IN LANDSCAPE BEDS, TOP OF MULCH/BEDDING MATERIAL SHALL MATCH PROPOSED FINISHED GRADE).
6. UNLESS NOTED, STORM DRAIN LINES SHALL BE OF THE FOLLOWING MATERIALS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS:
   - 6.A. RCP C-76, CLASS III
   - 6.B. ADS N-12
   - 6.C. HANCOR HI-Q
   - 6.D. CONTECH ALUMINIZED ULTRA FLOW
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE PIPE STABILITY DURING CONSTRUCTION
8. UNLESS NOTED, GRATE INLETS TO BE "HANSON PIPE AND PRECAST" CATCH BASIN SIZED AS SHOWN, OR APPROVED EQUAL.
9. FINAL PAVING, CURB, AND SIDEWALK ELEVATIONS SHALL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
10. REFER TO LANDSCAPE SPECIFICATIONS FOR SEEDING AND SODDING REQUIREMENTS.
11. ANY CONCRETE, ROCK, OR MATERIAL DEEMED BY THE ENGINEER TO BE UNSUITABLE FOR SUBGRADE SHALL BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.
12. TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
13. EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
14. A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS NEAR THE OUTLET PIPE.
15. ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO NCTCOG ITEM 702.2.4, CLASS "A" (3000 PSI) UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD CITY SPECIFICATIONS.
16. CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM FOR CRUSHED STONE BEDDING.
17. IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.
18. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL DISTURBED AREAS TO ALLOW FOR POSITIVE DRAINAGE. GRADING SLOPES ARE NOT TO EXCEED 4:1, UNLESS OTHERWISE NOTED.

ZONE X
TARRANT COUNTY
FLOOD PLAIN BASED
ON FEMA FIRM:
48439C0245K
DATED SEPT 25, 2009

STATE OF TEXAS — CLAYTON J. STROLLE — 108906 — LICENSED PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CLAYTON J. STROLLE, P.E. 108906 ON 02/16/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

NO.	DATE	REVISION

Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 972.235.3031 TX REG. ENGINEERING FIRM F-14439 TX REG. SURVEYING FIRM LS-10193905

GRADING & DRAINAGE PLAN
SIEMENS ADDITION
501 FOUNTAIN PARKWAY
BUILDING EXPANSION
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJS	ECS	FEB 2016	1"=40'			C4.1

PK JOB NO.:2943-15.391 CASE NO.: S160304 CITY FILE NO.:

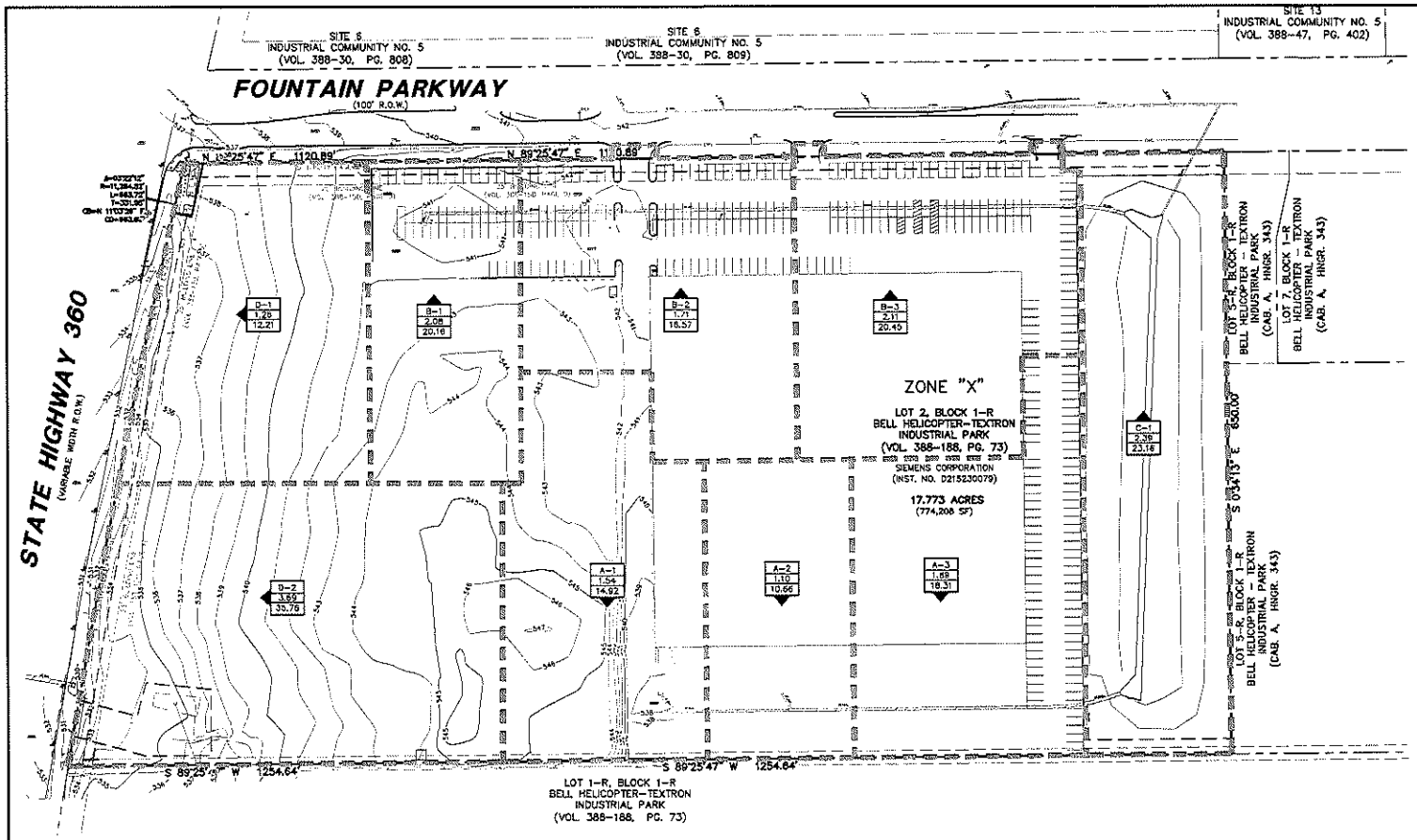
CITY FILE NO.

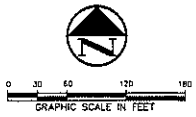
SIEMENS ADDITION

Planning Department

MAR 02 2016

Received





PROPERTY LINE
FENCE
EXISTING DRAINAGE DIVIDE
EX 8 | 1.00 | 7.69 — EXISTING DRAINAGE AREA ID, AREA IN ACRES, Q_{100} IN CUBIC FEET PER SECOND

LEGEND

- BOLLARD
- ELECTRIC METER
- POWER POLE
- LIGHT STANDARD
- WATER METER
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- CLEANOUT
- MANHOLE
- TRAFFIC SIGNAL CONTROL
- TRAFFIC SIGNAL POLE
- TELEPHONE BOX
- FLOOD LIGHT
- FLAG POLE
- TRAFFIC SIGN

ZONE X
TARRANT COUNTY
FLOOD PLAIN BASED
ON FEMA FIRM:
48439C0245H
DATED SEPT 25, 2009

EXISTING DRAINAGE CRITERIA:
Q=(C)(I)(A)

DRAINAGE AREA MAP

DRAINAGE AREA ID	AREA (acres)	C	Tc (minutes)	STORM FREQUENCY	I_{100} (inch/hour)	Q_{100} (cfs)	COMMENTS
A-1	1.54	0.85	10	100	11.40	14.92	DRAINS TO DA A-2
A-2	1.10	0.85	10	100	11.40	10.66	DRAINS TO DA A-3
A-3	1.89	0.85	10	100	11.40	18.31	DRAINS TO DA C-1
B-1	2.06	0.85	10	100	11.40	20.16	DRAINS TO DA B-2
B-2	1.71	0.85	10	100	11.40	16.57	DRAINS TO DA B-3
B-3	2.11	0.85	10	100	11.40	20.45	DRAINS TO DA C-1
C-1	2.39	0.85	10	100	11.40	23.16	DRAINS TO FOUNTAIN PWY STORM SYS.
D-1	1.26	0.85	10	100	11.40	12.21	DRAINS TO S.H. 360
D-2	3.69	0.85	10	100	11.40	35.78	DRAINS TO S.H. 360

NOTES: EXISTING DRAINAGE AREA MAP BASED ON PLANS PREPARED BY HALFF ASSOCIATES, INC.
CITY FILE NO. SD-278
DATE 08-07-1995

BENCH MARK LIST

B.M.8 — ALUMINUM ROD WITH ALUMINUM CAP STAMPED "D.P.I.8" INSIDE AN ALUMINUM ACCESS COVER SET FLUSH WITH THE GROUND. LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF AVENUE K AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360. (CITY OF GRAND PRAIRIE CONTROL MONUMENT G.P.I. 8)

ELEV=547.76 (PUBLISHED) ELEV=547.56 (MEASURED)

BMS 3 — " ▽ " CUT SET ON THE BACK OF CURB OF A MEDIAN LOCATED AT THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360.

ELEV=337.89

BMS 4 — " ▽ " CUT SET ON THE CONCRETE NOSE OF A MEDIAN ON FOUNTAIN PARKWAY LOCATED ±430' EAST OF THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360.

ELEV=342.82

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CLAYTON J. STROLLE, P.E. 108908 ON 02/16/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

STATE OF TEXAS — CLAYTON J. STROLLE — 108908

NO.	DATE	REVISION

Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193805

EX. DRAINAGE AREA MAP
SIEMENS ADDITION
501 FOUNTAIN PARKWAY
BUILDING EXPANSION
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

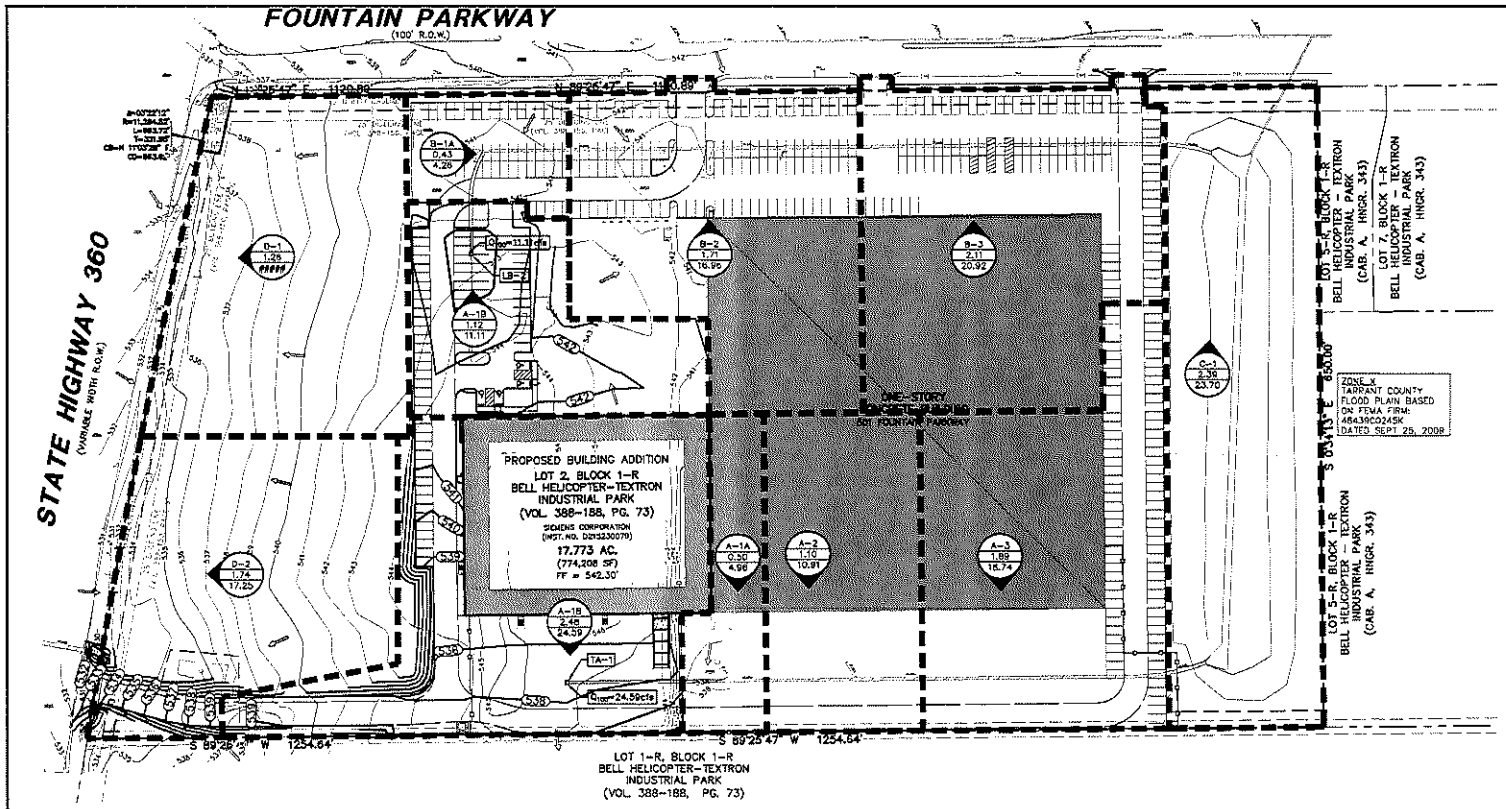
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJS	ECS	FEB 2016	1"=60'			C5.1

CITY FILE NO.
SIEMENS ADDITION

Planning Department PK JOB NO.:2949-15.391 CASE NO.: S160304 CITY FILE NO.:

MAR 02 2016

Received



BENCH MARK LIST

G.P.S. ALUMINUM ROD WITH ALUMINUM CAP STAMPED "G.P.S." INSIDE AN ALUMINUM ACCESS COVER SET FLUSH WITH THE GROUND. LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF AVENUE E AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360. (CITY OF GRAND PRAIRIE CONTROL MONUMENT G.P.S. 6)

ELEV=547.79 (PUBLISHED) ELEV=547.58 (MEASURED)

BM# 3 " [X] " CUT SET ON THE BACK OF CURB OF A MEDIAN LOCATED AT THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360.

ELEV=537.89

BM# 4 " [X] " CUT SET ON THE CONCRETE NOSE OF A MEDIAN ON FOUNTAIN PARKWAY LOCATED 345±' EAST OF THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360.

ELEV=542.82

DRAINAGE AREA TABLE Q=1.00833(C)(I)(A)

DRAINAGE AREA No.	AREA (acres)	C	K	Tc (minutes)	STORM FREQUENCY	I100 (inch/hour)	Q100 (cfs)	STORM FREQUENCY	I10 (inch/hour)	Q10 (cfs)	STORM FREQUENCY	I2 (inch/hour)	Q2 (cfs)	REMARKS
A-1A	0.43	0.85	1.00833	10	100 YEAR	11.57	4.29	10 YEAR	8.01	2.95	2 YEAR	5.42	2.00	DRAINS TO INLET A-1
A-1B	1.12	0.85	1.00833	10	100 YEAR	11.57	11.11	10 YEAR	8.01	7.69	2 YEAR	5.42	5.20	DRAINS TO INLET TA-1
A-2	1.10	0.85	1.00833	10	100 YEAR	11.57	10.91	10 YEAR	8.01	7.55	2 YEAR	5.42	5.11	DRAINAGE AREA UNCHANGED
A-3	1.89	0.85	1.00833	10	100 YEAR	11.57	18.74	10 YEAR	8.01	12.98	2 YEAR	5.42	8.78	DRAINAGE AREA UNCHANGED
B-1A	0.50	0.85	1.00833	10	100 YEAR	11.57	4.95	10 YEAR	8.01	3.43	2 YEAR	5.42	2.32	DRAINS TO INLET B-1
B-1B	2.48	0.85	1.00833	10	100 YEAR	11.57	24.59	10 YEAR	8.01	17.03	2 YEAR	5.42	11.52	DRAINS TO INLET LB-2
B-2	1.71	0.85	1.00833	10	100 YEAR	11.57	16.96	10 YEAR	8.01	11.74	2 YEAR	5.42	7.94	DRAINAGE AREA UNCHANGED
B-3	2.11	0.85	1.00833	10	100 YEAR	11.57	20.92	10 YEAR	8.01	14.49	2 YEAR	5.42	9.80	DRAINAGE AREA UNCHANGED
C-1	2.39	0.85	1.00833	10	100 YEAR	11.57	23.70	10 YEAR	8.01	16.41	2 YEAR	5.42	11.10	DRAINAGE AREA UNCHANGED
D-1	1.20	0.85	1.00833	10	100 YEAR	11.57	17.49	10 YEAR	8.01	8.85	2 YEAR	5.42	5.85	DRAINAGE AREA UNCHANGED
D-2	1.74	0.85	1.00833	10	100 YEAR	11.57	17.25	10 YEAR	8.01	11.95	2 YEAR	5.42	8.08	DRAINAGE AREA UNCHANGED
TOTAL	16.70						169.90			114.86			77.72	

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STATE OF TEXAS
CLAYTON J. STROLLE
108906

NO.	DATE	REVISION

Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193805

PROP. DRAINAGE AREA MAP

SIEMENS ADDITION

501 FOUNTAIN PARKWAY

BUILDING EXPANSION

CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJS	ECS	FEB 2016	1"=60'			C5.2

PK JOB NO.: 2949-15.391 CASE NO.: S160304 CITY FILE NO.:

CITY FILE NO.

SIEMENS ADDITION

Planning Department

MAR 02 2016

Received

EXPWTE
3/7/2016 8:22 AM
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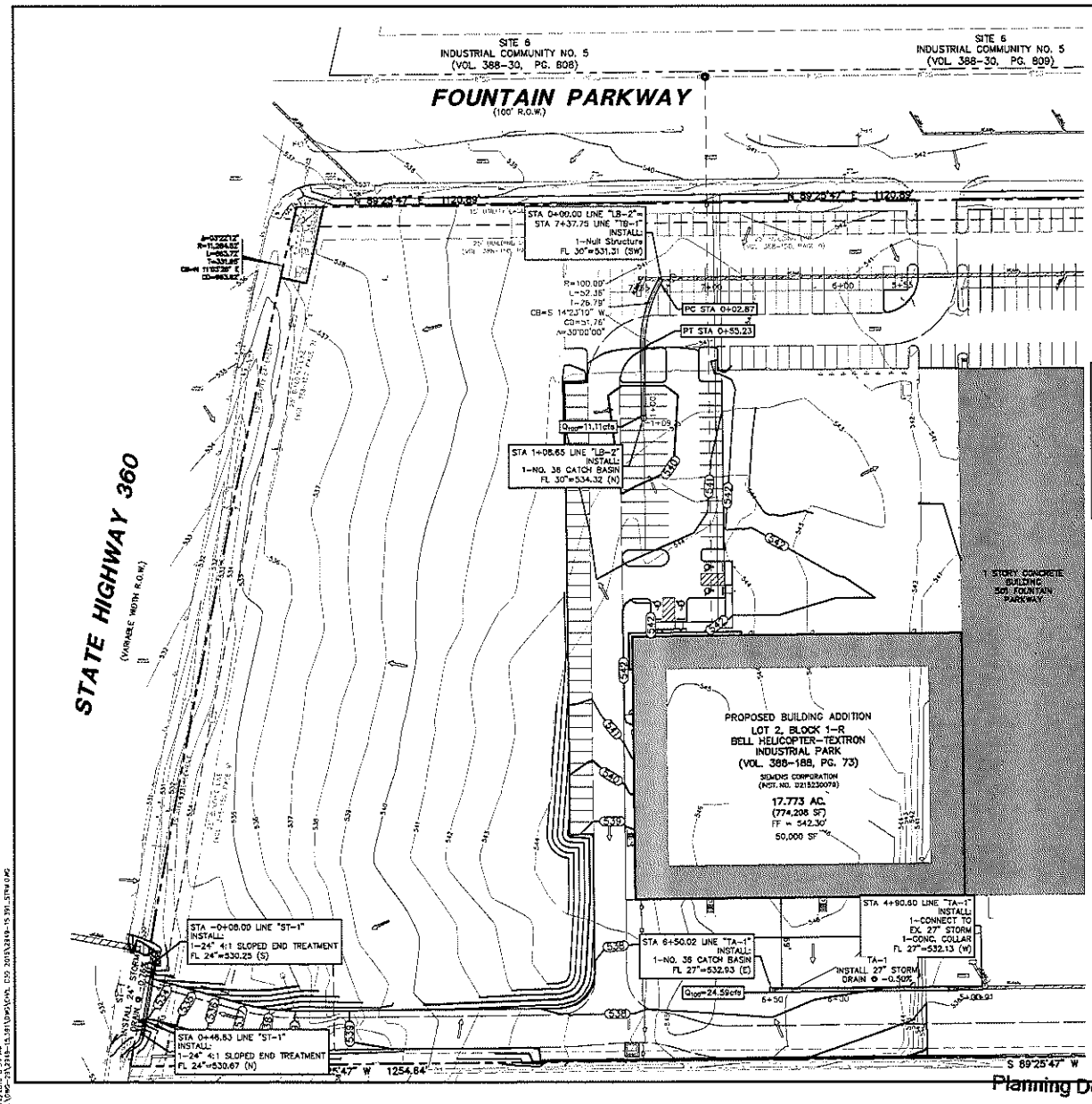

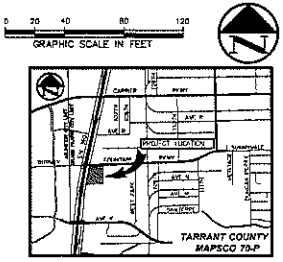

VICINITY MAP
(NOT TO SCALE)

0 20 40 80 120
GRAPHIC SCALE IN FEET

NOTE:

1. FACTORY FABRICATED 45 DEGREE OR 60 DEGREE WYES SHALL BE INSTALLED AT ALL PROPOSED PIPE CONNECTIONS.
2. ALL CONNECTIONS TO EXISTING CONCRETE PIPE SHALL BE MADE WITH CONCRETE PIPE.
3. CONCRETE COLLARS SHALL BE CONSTRUCTED AT ALL PROPOSED PIPE TO EXISTING CONCRETE PIPE CONNECTIONS, AT ALL CONCRETE PIPE SIZE CHANGES, AT ALL CONCRETE PIPE PWI's AND AT ALL CONCRETE PIPE JOINTS WITH MORE THAN HALF PIPE TONGUE EXPOSURE.
4. FACTORY FABRICATED 15 DEGREE, 30 DEGREE, 45 DEGREE, OR 60 DEGREE BENDS SHALL BE REQUIRED FOR ALL PROPOSED PIPE BENDS.

ZONE X
TARRANT COUNTY
FLOOD PLAIN BASED
ON FEMA FIRM:
48439C0294SK
DATED SEPT 25, 2009

BENCH MARK LIST

G.P.6	ALUMINUM ROD WITH ALUMINUM CAP STAMPED "C.P.S" INSIDE AN ALUMINUM ACCESS COVER SET FLUSH WITH THE GROUND. LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF AVENUE K AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360. (CITY OF GRAND PRAIRIE CONTROL MONUMENT G.P.S. 6) ELEV=547.78 (PUBLISHED) ELEV=547.56 (MEASURED)
BM# 3	* "X" CUT SET ON THE BACK OF CURB OF A MEDIAN LOCATED AT THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360. ELEV=537.99
BM# 4	* "X" CUT SET ON THE CONCRETE NOSE OF A MEDIAN ON FOUNTAIN PARKWAY LOCATED 3450' EAST OF THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360. ELEV=542.62

STATE OF TEXAS
CLAYTON J. STROLLE
108906
LICENSED
PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CLAYTON J. STROLLE, P.E. 108906 ON 02/15/2016. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

LEGEND

	BOLLARD
	ELECTRIC METER
	POWER POLE
	LIGHT STANDARD
	WATER METER
	WATER VALVE
	IRRIGATION CONTROL VALVE
	FIRE HYDRANT
	CLEANOUT
	MANHOLE
	TRAFFIC SIGNAL CONTROL
	TRAFFIC SIGNAL POLE
	TELEPHONE BOX
	FLOOD LIGHT
	FLAG POLE
	TRAFFIC SIGN
IRS	1/2-INCH IRON ROD
(C.M.)	W/"PACHECO KOCH" CAP SET CONTROLLING MONUMENT
	PROPERTY LINE
	FENCE
OHL	OVERHEAD UTILITY LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND CABLE LINE
6"W	UNDERGROUND WATER LINE
8"SS	UNDERGROUND SANITARY SEWER LINE

GRADING & DRAINAGE GENERAL NOTES

1. REFER TO GEOTECHNICAL REPORT PREPARED BY RGED ENGINEERING DATED FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
2. UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN MAXIMUM LIFTS OF 6 INCHES.
3. SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A RUNNING SLOPE NO GREATER THAN 5% (UNLESS OTHERWISE NOTED) AND A CROSS SLOPE NO GREATER THAN 2%.
4. GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO FEDERAL, STATE, AND LOCAL GUIDELINES.
5. ALL PROPOSED AND EXISTING GRADES IN NON-PAVED AREAS ARE "FINISHED GRADE" (i.e. IN LANDSCAPE BEDS, TOP OF MULCH/BEDDING MATERIAL SHALL MATCH PROPOSED FINISHED GRADE).
6. UNLESS NOTED, STORM DRAIN LINES SHALL BE OF THE FOLLOWING MATERIALS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS:
   6.A. RCP C-76, CLASS III
   6.B. ADS N-12
   6.C. HANCOR Hi-O
   6.D. CONTECH ALUMINIZED ULTRA FLOW
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE PIPE STABILITY DURING CONSTRUCTION.
8. UNLESS NOTED, GRATE INLETS TO BE "HANSON PIPE AND PRECAST" CATCH BASIN SIZED AS SHOWN, OR APPROVED EQUAL.
9. FINAL PAVING, CURB, AND SIDEWALK ELEVATIONS SHALL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
10. REFER TO LANDSCAPE SPECIFICATIONS FOR SEEDING AND SODDING REQUIREMENTS.
11. ANY CONCRETE, ROCK, OR MATERIAL DEEMED BY THE ENGINEER TO BE UNSUITABLE FOR SUBGRADE SHALL BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.
12. TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
13. EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
14. A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS NEAR THE OUTLET PIPE.
15. ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO NCTCOG ITEM 702.2.4, CLASS "A" (3000 PSI) UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD CITY SPECIFICATIONS.
16. CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM FOR CRUSHED STONE BEDDING.
17. IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.
18. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL DISTURBED AREAS TO ALLOW FOR POSITIVE DRAINAGE. GRADING SLOPES ARE NOT TO EXCEED 4:1, UNLESS OTHERWISE NOTED.

NO.	DATE	REVISION

Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14435
TX REG. SURVEYING FIRM LS-10193805

DRAINAGE PLAN
SIEMENS ADDITION
501 FOUNTAIN PARKWAY
BUILDING EXPANSION
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJS	ECS	FEB 2016	1"=40'			C5.3

CITY FILE NO.

SIEMENS ADDITION

PK JOB NO.: 2949-15.391 CASE NO.: S160304 CITY FILE NO.:

EDWARDZ
3/2/2016 8:54 AM
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Planning Department

MAR 02 2016

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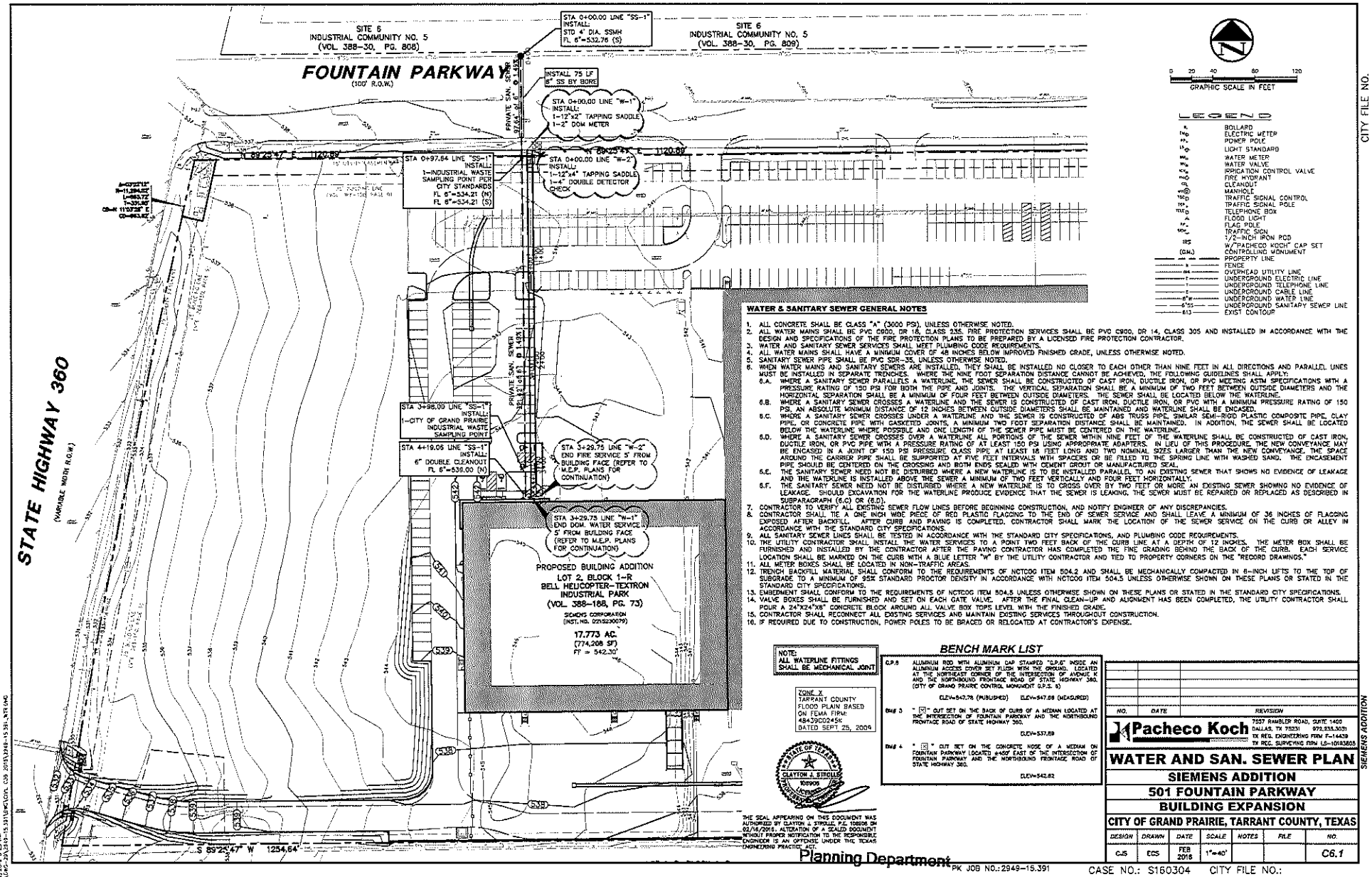

WATER & SANITARY SEWER GENERAL NOTES

1. ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED.
2. ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 14, CLASS 305 AND INSTALLED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE FIRE PROTECTION PLANS TO BE PREPARED BY A LICENSED FIRE PROTECTION CONTRACTOR.
3. WATER AND SANITARY SEWER SERVICES SHALL MEET PLUMBING CODE REQUIREMENTS.
4. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES BELOW IMPROVED FINISHED GRADE, UNLESS OTHERWISE NOTED.
5. SANITARY SEWER PIPE SHALL BE PVC SDR-35, UNLESS OTHERWISE NOTED.
6. WHEN WATER MAINS AND SANITARY SEWERS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING GUIDELINES SHALL APPLY:
   - 6.A. WHERE A SANITARY SEWER PARALLELS A WATERLINE, THE SEWER SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON, OR PVC MEETING ASTM SPECIFICATIONS WITH A PRESSURE RATING OF 150 PSI FOR BOTH THE PIPE AND JOINTS. THE VERTICAL SEPARATION SHALL BE A MINIMUM OF TWO FEET BETWEEN OUTSIDE DIAMETERS AND THE HORIZONTAL SEPARATION SHALL BE A MINIMUM OF FOUR FEET BETWEEN OUTSIDE DIAMETERS. THE SEWER SHALL BE LOCATED BELOW THE WATERLINE.
   - 6.B. WHERE A SANITARY SEWER CROSSES A WATERLINE AND THE SEWER IS CONSTRUCTED OF CAST IRON, DUCTILE IRON, OR PVC WITH A MINIMUM PRESSURE RATING OF 150 PSI, AN ABSOLUTE MINIMUM DISTANCE OF 12 INCHES BETWEEN OUTSIDE DIAMETERS SHALL BE MAINTAINED AND WATERLINE SHALL BE ENCASED.
   - 6.C. WHERE A SANITARY SEWER CROSSES UNDER A WATERLINE AND THE SEWER IS CONSTRUCTED OF ABS TRUSS PIPE, SIMILAR SEMI-RIGID PLASTIC COMPOSITE PIPE, CLAY PIPE, OR CONCRETE PIPE WITH GASKETED JOINTS, A MINIMUM TWO FOOT SEPARATION DISTANCE SHALL BE MAINTAINED. IN ADDITION, THE SEWER SHALL BE LOCATED BELOW THE WATERLINE WHERE POSSIBLE AND ONE LENGTH OF THE SEWER PIPE MUST BE CENTERED ON THE WATERLINE.
   - 6.D. WHERE A SANITARY SEWER CROSSES OVER A WATERLINE ALL PORTIONS OF THE SEWER WITHIN NINE FEET OF THE WATERLINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON, OR PVC PIPE WITH A PRESSURE RATING OF AT LEAST 150 PSI USING APPROPRIATE ADAPTERS. IN LIEU OF THIS PROCEDURE, THE NEW CONVEYANCE MAY BE ENCASED IN A JOINT OF 150 PSI PRESSURE CLASS PIPE AT LEAST 18 FEET LONG AND TWO NOMINAL SIZES LARGER THAN THE NEW CONVEYANCE. THE SPACE AROUND THE CARRIER PIPE SHALL BE SUPPORTED AT FIVE FEET INTERVALS WITH SPACERS OR BE FILLED TO THE SPRING LINE WITH WASHED SAND. THE ENCASEMENT PIPE SHOULD BE CENTERED ON THE CROSSING AND BOTH ENDS SEALED WITH CEMENT GROUT OR MANUFACTURED SEAL.
   - 6.E. THE SANITARY SEWER NEED NOT BE DISTURBED WHERE A NEW WATERLINE IS TO BE INSTALLED PARALLEL TO AN EXISTING SEWER THAT SHOWS NO EVIDENCE OF LEAKAGE AND THE WATERLINE IS INSTALLED ABOVE THE SEWER A MINIMUM OF TWO FEET VERTICALLY AND FOUR FEET HORIZONTALLY.
   - 6.F. THE SANITARY SEWER NEED NOT BE DISTURBED WHERE A NEW WATERLINE IS TO CROSS OVER BY TWO FEET OR MORE AN EXISTING SEWER SHOWING NO EVIDENCE OF LEAKAGE. SHOULD EXCAVATION FOR THE WATERLINE PRODUCE EVIDENCE THAT THE SEWER IS LEAKING, THE SEWER MUST BE REPAIRED OR REPLACED AS DESCRIBED IN SUBPARAGRAPH (6.C) OR (6.D).
7. CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION, AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
8. CONTRACTOR SHALL TIE A ONE INCH WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36 INCHES OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OR ALLEY IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
9. ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS, AND PLUMBING CODE REQUIREMENTS.
10. THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
11. ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
12. TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 8-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
13. EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
14. VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE UTILITY CONTRACTOR SHALL POUR A 24"X24"X8" CONCRETE BLOCK AROUND ALL VALVE BOX TOPS LEVEL WITH THE FINISHED GRADE.
15. CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICES AND MAINTAIN EXISTING SERVICES THROUGHOUT CONSTRUCTION.
16. IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.

NOTE:
ALL WATERLINE FITTINGS SHALL BE MECHANICAL JOINT

ZONE X
TARRANT COUNTY
FLOOD PLAIN BASED
ON FEMA FIRM:
48439C0245H
DATED SEPT 25, 2009

BENCH MARK LIST

G.P.S	ALUMINUM ROD WITH ALUMINUM CAP STAMPED "G.P.S" INSIDE AN ALUMINUM ACCESS COVER SET FLUSH WITH THE GROUND. LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF AVENUE K AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360. (CITY OF GRAND PRAIRIE CONTROL MONUMENT G.P.S. 6) ELEV=542.78 (PUBLISHED) ELEV=547.08 (MEASURED)
BM# 3	" ☑ " CUT SET ON THE BACK OF CURB OF A MEDIAN LOCATED AT THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360. ELEV=537.89
BM# 4	" ☒ " CUT SET ON THE CONCRETE NOSE OF A MEDIAN ON FOUNTAIN PARKWAY LOCATED ±450' EAST OF THE INTERSECTION OF FOUNTAIN PARKWAY AND THE NORTHBOUND FRONTAGE ROAD OF STATE HIGHWAY 360. ELEV=542.82

STATE OF TEXAS
CLAYTON J. STROUD
108906
LICENSED
PROFESSIONAL ENGINEER

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NO.	DATE	REVISION

Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193805

WATER AND SAN. SEWER PLAN

SIEMENS ADDITION

501 FOUNTAIN PARKWAY

BUILDING EXPANSION

CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJS	ECS	FEB 2016	1"=40'			C6.1

CITY FILE NO.

SIEMENS ADDITION

PK JOB NO.: 2949-15.391

CASE NO.: S160304 CITY FILE NO.:

Planning Department

MAR 02 2016

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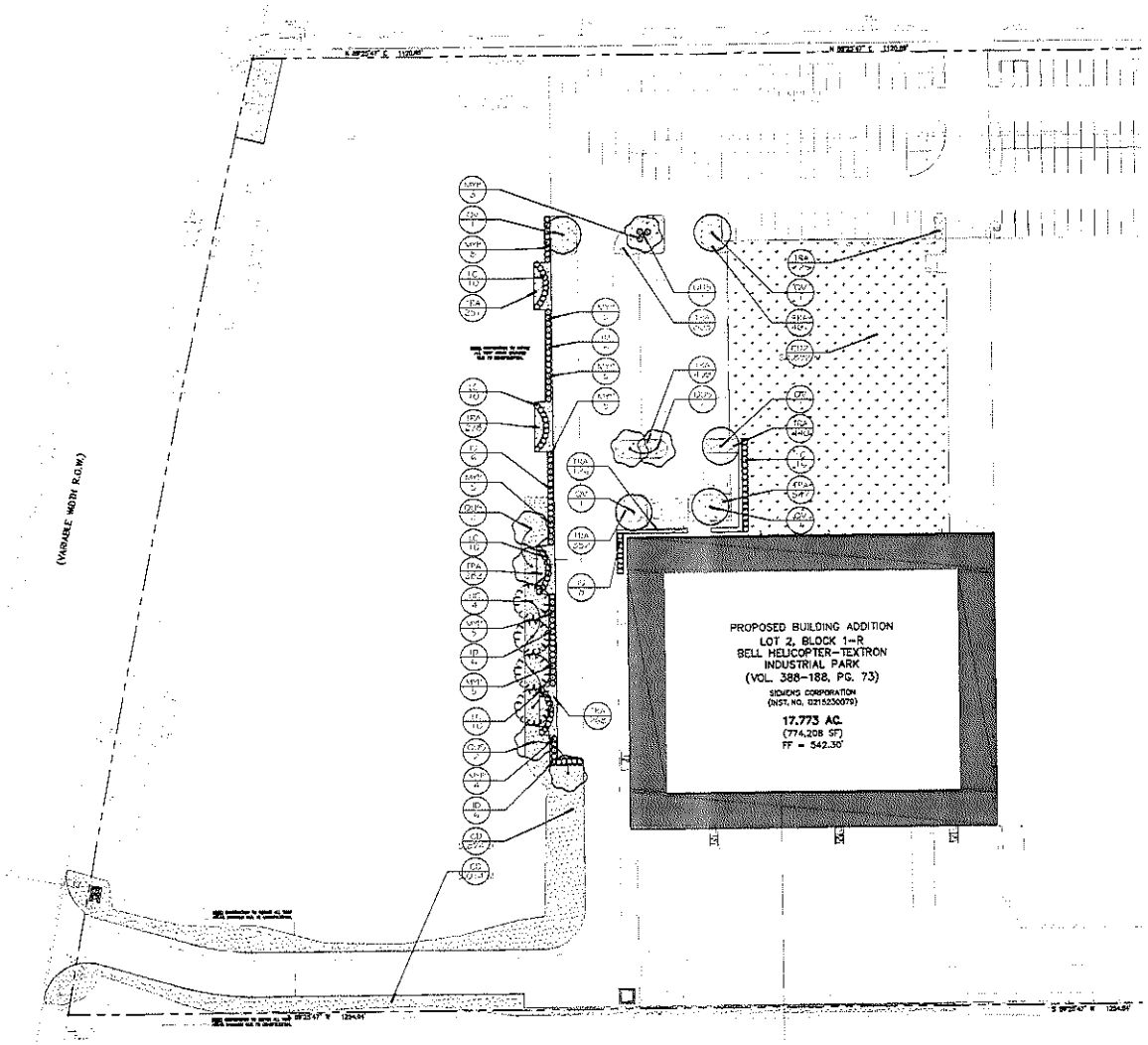

PLANT SCHEDULE

TREES	QTY	SIZE	BOTANICAL NAME	COMMON NAME	CONT	REM	CAL	REMARKS
	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
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SHRUBS	[illegible]	[illegible]	BOTANICAL NAME	COMMON NAME	CONT			REMARKS
	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]			[illegible]
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	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]			[illegible]
GROUNDCOVERS	[illegible]	[illegible]	BOTANICAL NAME	COMMON NAME	CONT			REMARKS
	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]			
	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]			[illegible]
MISCELLANEOUS	[illegible]	[illegible]	BOTANICAL NAME	COMMON NAME	CONT			REMARKS
	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]			[illegible]

PLANTING GENERAL NOTES

1. ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
2. FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
3. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
4. WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
5. IT IS PREFERABLE THAT NO TREE BE STAKED. HOWEVER, CONDITIONS AND PLANT MATERIAL SIZE MAY NECESSITATE STAKING. THE OWNER'S REP SHALL DETERMINE IF SUPPORT IS NEEDED AND SHALL DIRECT THE CONTRACTOR ACCORDINGLY.
6. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
7. ALL PLANT MATERIALS SHALL MEET ANSI Z60.1 STANDARDS FOR CALIPER, HEIGHT AND ROOT BALL SIZE. ANY MATERIALS THAT DO NOT MEET OR EXCEED SUCH STANDARDS SHALL BE REJECTED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
8. BALLED AND BURLAPPED TREES SHALL HAVE THE TOP HALF OF THE WIRE BASKET REMOVED. THE BURLAP SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE, USING A KNIFE TO CUT AND REMOVE THE BOTTOM HALF UNDER THE WIRE BASKET THAT REMAINS.
9. ALL SCREENING PLANTS SHALL BE A MINIMUM OF 36-INCHES IN HEIGHT AT TIME OF PLANTING.

LANDSCAPE REQUIREMENTS TABLE

ZONING: LIGHT INDUSTRIAL		
SITE DATA		
GROSS SITE AREA: 142,656 SF		
BUILDING FOOTPRINT: 50,000 SF		
PARKING AREA: 302,105 SF		
LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
ZONED INDUSTRIAL REQUIRED 4% OF SITE LANDSCAPE		
142,656 SF	5,662 SF (MIN.)	6,740 SF
MINIMUM PARKING LOT TREES TO EQUAL 1 PER 20 SPACES		
PARKING LOT TREES (84 / 20 = 4.2)	4 (MIN.)	4
MINIMUM TREES TO EQUAL 1 PER 500 SF OF REQUIRED LANDSCAPE AREA		
PARKING LOT TREES (5,662 / 500 = 11.3)	11 (MIN.)	12
MINIMUM SHRUBS TO EQUAL 1 PER 50 SF OF REQUIRED LANDSCAPE AREA		
SITE SHRUBS 5 GALLON (5,662 / 50 = 113)	113 (MIN.)	113

REGISTERED LANDSCAPE ARCHITECT
WADE C. PETCHONY
7955
STATE OF TEXAS
03/02/2016

0 20 40 80 120
GRAPHIC SCALE IN FEET

NO.	DATE	REVISION

Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193905

PLANTING PLAN

SIEMENS ADDITION
501 FOUNTAIN PARKWAY
GRAND PRAIRIE TEXAS

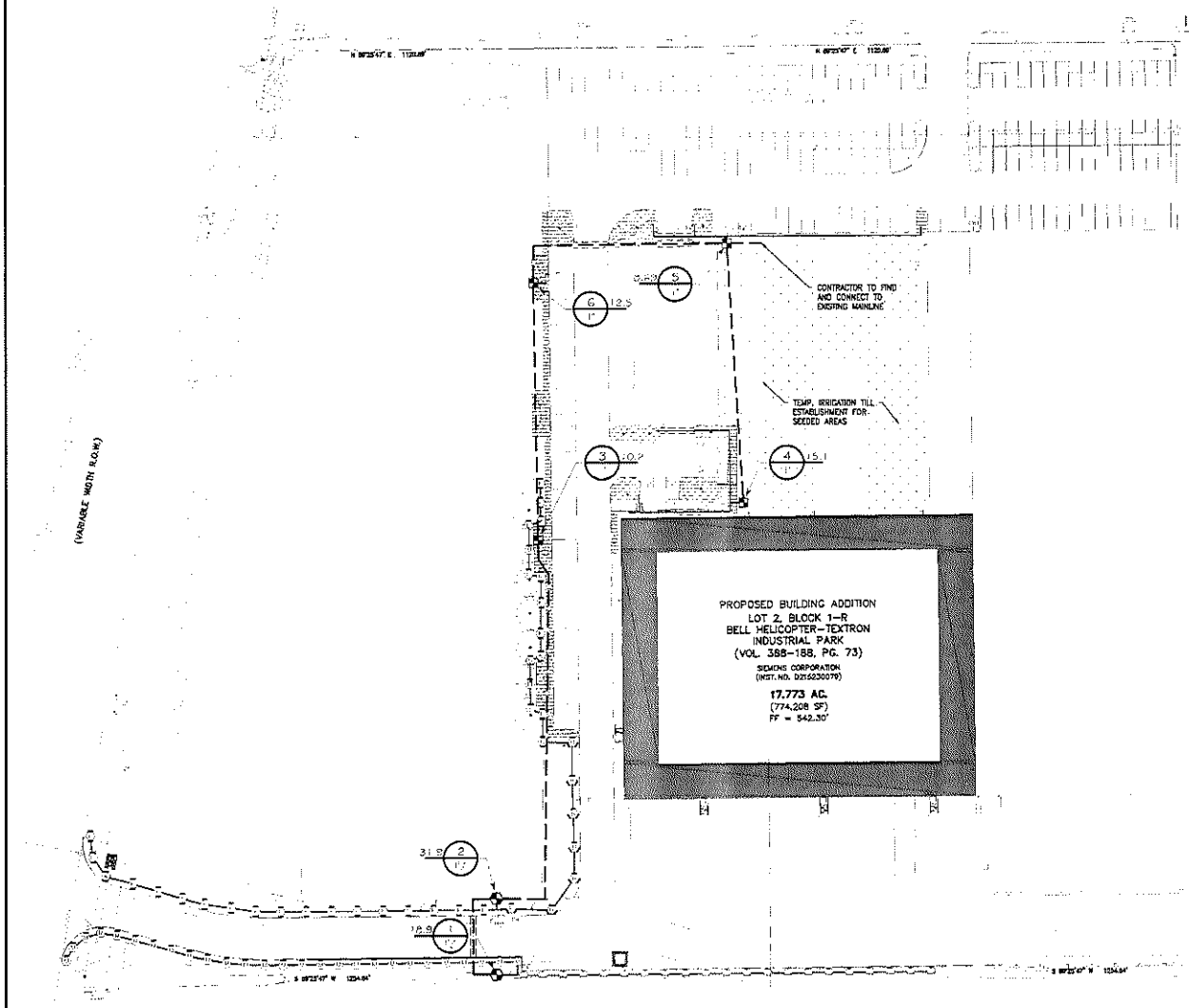
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
WCP	GBH	MAR 2016	1"=40'			L1.0

Planning Department

MAR 02 2016

Received



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER MP2000 PRO5-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.
	HUNTER MP3000 PRO5-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.
	HUNTER MP800SR PRO5-04-PRS40-CV TURF ROTATOR, 4.0" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360)
	HUNTER MP STRIP PRO5-04-PRS40-CV TURF ROTATOR, 4" (10.16 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER ICZ-101-25 DRIP CONTROL ZONE KIT. 1" ICV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 25PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.
	AREA TO RECEIVE DRIPLINE HUNTER PLD-06-12 (18) IN-LINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH BUILT-IN CHECK VALVE. 0.6GPH EMITTERS AT 12.0" O.C. DRIPLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER PGV-151 GLOBE 1-1/2" PLASTIC ELECTRIC REMOTE CONTROL VALVE, FOR RESIDENTIAL/LIGHT COMMERCIAL USE. FEMALE NPT INLET/OUTLET, WITH FLOW CONTROL. GLOBE CONFIGURATION.
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE.
	PIPE SLEEVE: PVC CLASS 200 SDR 21 200 PVC, 2 SIZES LARGER THAN PIPE WITHIN

Valve Detail
Valve Number
Valve Time
Valve Size

IRRIGATION GENERAL NOTES

1. POINTS OF CONNECTION ARE APPROXIMATE. IRRIGATION CONTRACTOR SHALL COORDINATE WITH OWNERS REPRESENTATIVE REGARDING THE MOST FEASIBLE LOCATIONS FOR TAPPING AN EXISTING WATER SOURCE.
2. IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE THE APPROPRIATE ZONE WIRING BACK TO THE EXISTING SYSTEM CONTROLLER, INCLUDING ANY DATA OR SYSTEM CONTROL VALVE WIRING AS REQUIRED.
3. IRRIGATION CONTRACTOR IS RESPONSIBLE TO EXAMINE THE PLANS IN THEIR ENTIRETY TO DETERMINE THE APPROXIMATE LOCATION OF EXISTING AND PROPOSED UTILITIES. HE SHALL ALSO CONTACT THE APPROPRIATE AUTHORITY TO MARK UTILITIES ON THE SITE. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO UTILITIES ON THE SITE CAUSED BY HIS WORK.
4. CONTRACTOR SHALL EXAMINE THE DETAILS FOR ADDITIONAL REQUIREMENTS FOR THE IRRIGATION SYSTEM AND ITS INSTALLATION.
5. IRRIGATION DRAWINGS ARE SCHEMATIC IN NATURE. AT TIMES MAIN LINES, LATERALS AND VALVES MAY BE SHOWN IN PAVED AREAS OR OUTSIDE THE PROPERTY LINE FOR PLAN CLARITY PURPOSES ONLY. THE CONTRACTOR SHALL STAKE OUT IN THE FIELD ALL PRINCIPLE SYSTEM COMPONENTS FOR APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
6. THE SYSTEM HAS BEEN DESIGNED TO FUNCTION WITH A MINIMUM DYNAMIC WATER PRESSURE OF 45 PSI AT A MINIMUM RATE OF 37 GPM AT THE POINT WHERE THE EXTENDED MAINLINE IS CONNECTED. THE CONTRACTOR SHALL TAKE THREE READINGS (ONE AT 7:00 A.M., ONE AT 12:00 P.M., AND ONE AT 7:00 P.M.) ON TWO SEPARATE DAYS AND SUBMIT TO THE OWNERS REPRESENTATIVE FOR VERIFICATION OF PRESSURE PRIOR TO BEGINNING THE WORK.
7. ALL TRENCHING WITHIN DRIP LINES OF EXISTING TREES SHALL BE BY HAND TOOLS. SHOULD ROOTS OVER 3" IN DIAMETER BE ENCOUNTERED, THE CONTRACTOR MAY PROVIDE ANOTHER PIPE ROUTE IF LOCATION IS PROVIDED ON THE AS-BUILT DOCUMENTS.
8. THE CONTRACTOR SHALL DEMONSTRATE TO AN OWNER'S REPRESENTATIVE THAT THE IRRIGATIONS SYSTEM IS FULLY FUNCTIONAL AND RUNNING PROPERLY PRIOR TO FINAL ACCEPTANCE AND BEGINNING OF THE WARRANTY PERIOD.
9. NEW SYSTEM COMPONENTS ARE SHOWN. CONTRACTOR SHALL INCLUDE IN HIS PRICING THE FOLLOWING TASKS:
   - 9.1. FULL SITE WALK WITH OWNERS REPRESENTATIVE TO EXAMINE CONTROLLERS, P.O.C.'S, WIRING, VALVES AND OTHER EXISTING COMPONENTS.
   - 9.2. PRODUCE A SHOP DRAWING SUBMITTAL TO SHOW ANY DEVIATIONS PROPOSED FOR THE PROPOSED SYSTEM ADAPTATION.
   - 9.3. PRODUCE AN AS-BUILT FILE MARK UP, LAMINATED AT 24"x36" OF THE NEW COMPONENTS AND WHAT WAS LEARNED IN 9.1, AND WILL REMAIN IN PLACE.

REGISTERED LANDSCAPE ARCHITECT
WADE C. PETERSON
1665
STATE OF TEXAS
03/02/2016

0 20 40 80 120
GRAPHIC SCALE IN FEET

NO.	DATE	REVISION

Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REGL ENGINEERING FIRM F-14439
TX REGL SURVEYING FIRM LS-10193905

IRRIGATION PLAN

SIEMENS ADDITION

501 FOUNTAIN PARKWAY

GRAND PRAIRIE TEXAS

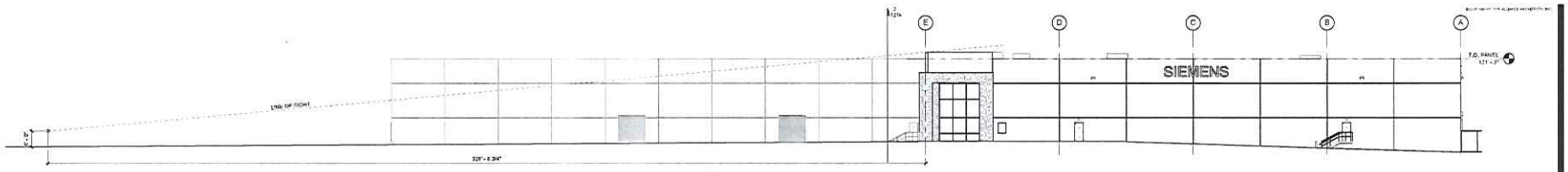
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
WCP	GBH	MAR 2016	1"=40'			L2.0

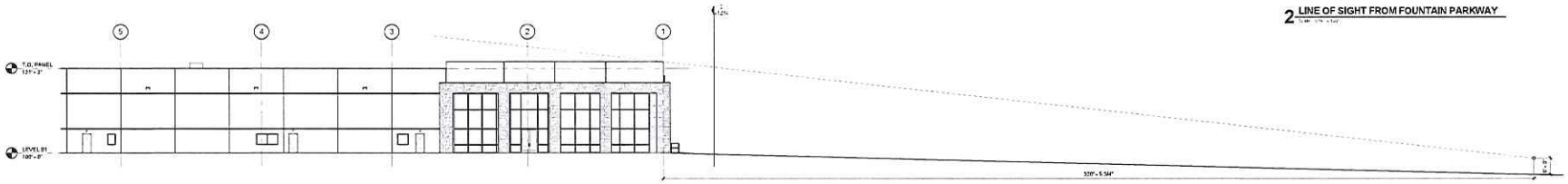
Planning Department

MAR 02 2016

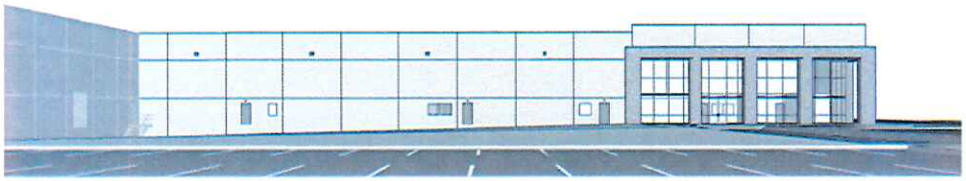
Received



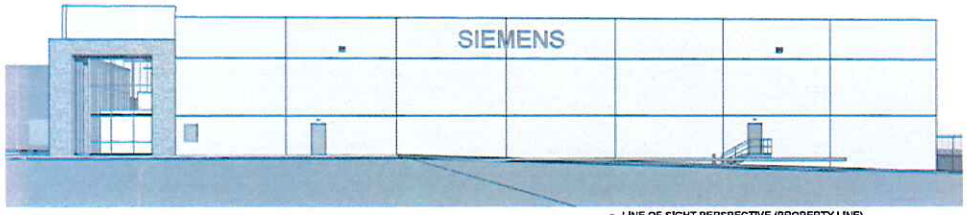
2 LINE OF SIGHT FROM FOUNTAIN PARKWAY



3 LINE OF SIGHT FROM HWY 360



7 LINE OF SIGHT PERSPECTIVE (PROPERTY LINE)



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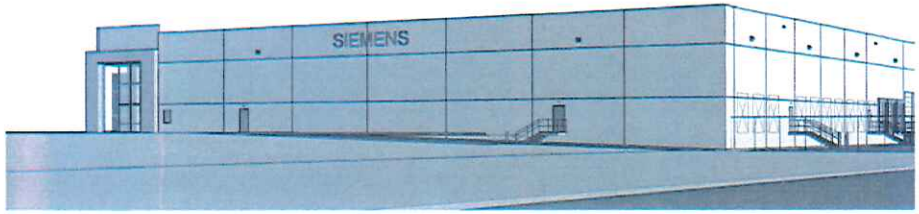
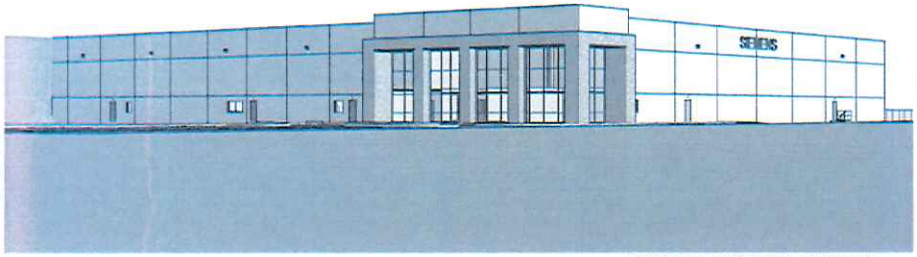


5 LINE OF SIGHT PERSPECTIVE (PROPERTY LINE)



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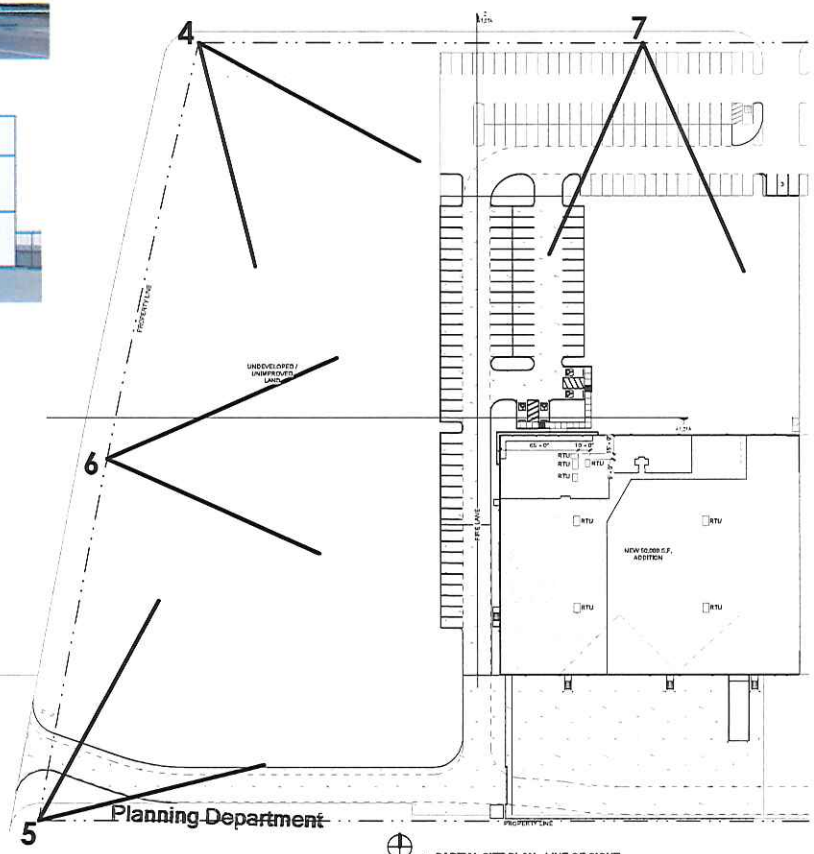

1 PARTIAL SITE PLAN - LINE OF SIGHT

PLAN NORTH

Planning Department

MAR 02 2016

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ALLIANCE ARCHITECTS

SIEMENS

SIEMENS ADDITION

531 FOUNTAIN PARKWAY GRAND PRAIRIE, TX 75050

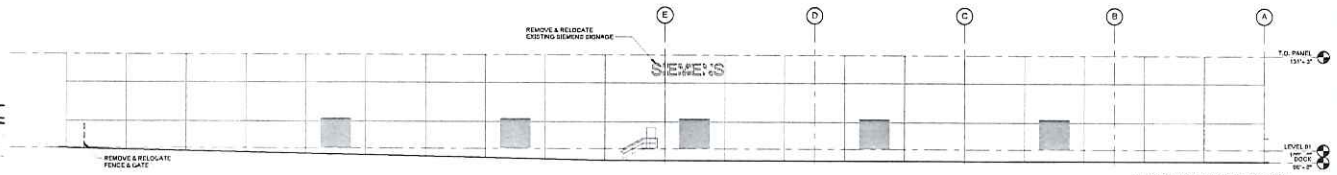
LINE OF SIGHT PERSPECTIVE

DRAWING RECORD	
DATE	DESCRIPTION

A1.01A

PROJECT NO.: 15225

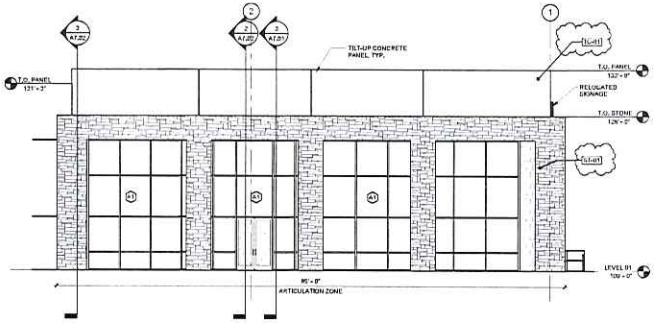
9 ISOMETRIC VIEW OF ENTRANCE



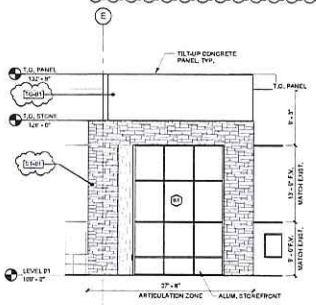
5 EXISTING WEST ELEVATION

MATERIAL PERCENTAGE SCHEDULE

STANDARD	TEXT OF REQUIREMENT	CALCULATION OF REQUIREMENT	CALCULATION OF PROVIDED ELEMENT	MEETS
APPENDIX F.3.B.1.E	THE AREA OF THE ARTICULATION ZONE, WHEN LOCATED AT BUILDING CORNERS, SHALL EXTEND FOR A DISTANCE EQUAL TO THREE TIMES THE BUILDING HEIGHT AS MEASURED FROM FINISH FLOOR TO THE TOP OF THE REQUIRED ROOF PARAPET WALL ONE SIDE OF THE CORNER SHALL CONTAIN AT LEAST 25% OF THE TOTAL LENGTH REQUIRED FOR THE ARTICULATION ZONE.	HEIGHT FROM FINISH FLOOR TO REQUIRED PARAPET = H = 31'-3" ARTICULATION ZONE TO EXTEND H X 3 = 31'-3" X 3 = 93'-9" 25% MINIMUM PER SIDE = 93'-9" X 0.25 = 23'-5 1/4" ON SHORT SIDE.	PROVIDED ARTICULATION ZONE @ NW CORNER = 112'-4" SHORT SIDE OF ARTICULATION ZONE ON NORTH FACE OF NW CORNER = 95'-0" = 75% LONG SIDE OF ARTICULATION ZONE ON WEST FACE OF NW CORNER = 26'-0" = 27%	YES
APPENDIX F.3.B.3.A	HORIZONTAL FLAT WALL ARTICULATION - OFF SET THAT PROJECTS OUTWARD FROM THE MAIN WALL PLANE A DIMENSION NOT LESS THAN SEVEN AND ONE HALF PERCENT (7.5%) OF THE WALLS HEIGHT. THIS PROJECTING OFF-SET SHALL EXTEND FOR A MINIMUM DISTANCE EQUAL TO AT LEAST TWENTY PERCENT (20%) OF THE TOTAL ARTICULATION ZONE.	TOTAL ARTICULATION ZONE PROVIDED = 112'-4" PROJECTION ZONE = 7.5% OF WALL HEIGHT = 31'-3" X 0.075 = 2'-4 1/8" EXTENT = 20% OF TOTAL ARTICULATION ZONE = 112'-4" X 0.20 = 22'-4 5/8"	PROVIDED PROJECTION = 2'-4" = 12.5% PROVIDED EXTENT = 112'-4" = 100%	YES
APPENDIX F.3.B.3.B	VERTICAL FLAT WALL ARTICULATION - WALL HEIGHT CHANGE EXTENDING ABOVE THE HEIGHT OF THE REQUIRED PARPET WALL BY A MINIMUM OF SEVEN AND ONE HALF (7.5%) OF THE WALLS HEIGHT. THIS INCREASED HEIGHT SHALL CONTINUE FOR A MINIMUM DISTANCE EQUAL TO AT LEAST TWENTY PRECENT (20%) OF THE TOTAL LENGTH OF THE ARTICULATN ZONE.	TOTAL ARTICULATION ZONE PROVIDED = 112'-4" HEIGHT CHANGE = 7.5% OF WALL HEIGHT = 31'-3" X 0.075 = 2'-4 1/8" EXTENT = 20% OF TOTAL ARTICULATION ZONE = 112'-4" X 0.2 = 22'-4 5/8"	PROVIDED HEIGHT CHANGE = 2'-4" = 12.5% PROVIDED EXTENT = 100'-0" = 89%	YES
Grand total				



8 ENLARGED NORTH CORNER



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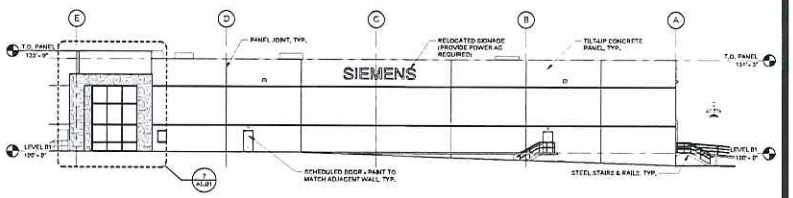
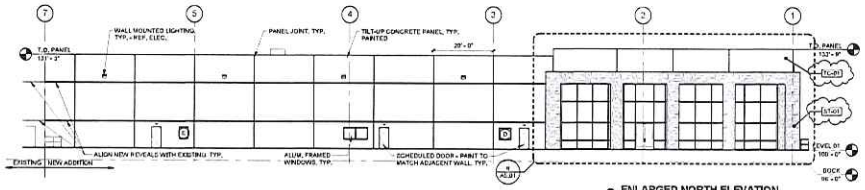


4 ENLARGED WEST ELEVATION



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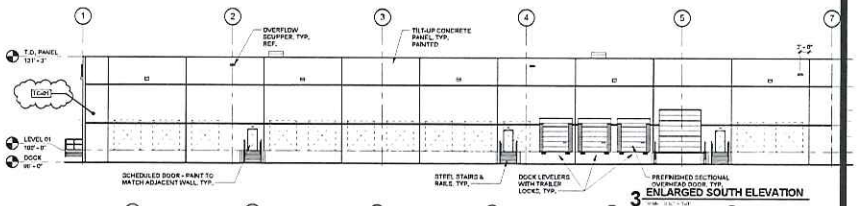
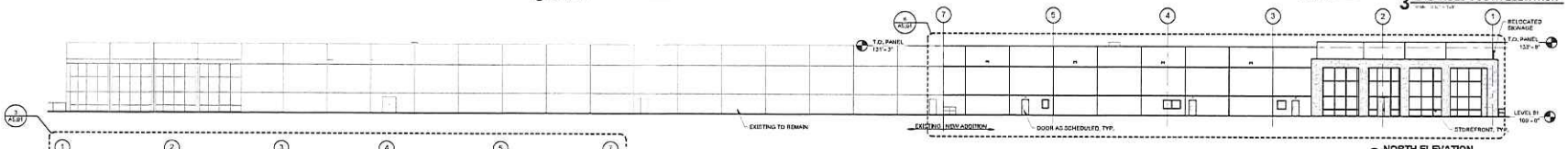
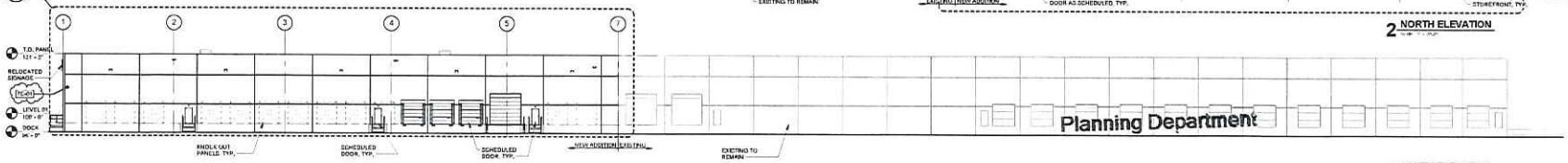


3 ENLARGED SOUTH ELEVATION



2 NORTH ELEVATION



1 SOUTH ELEVATION

Planning Department

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ALLIANCE ARCHITECTS

SIEMENS

SIEMENS ADDITION

931 FOUNTAIN PARKWAY GRAND PRAIRIE, TX 75050

EXTERIOR BUILDING ELEVATIONS

DRAWING RECORD

DATE	DESCRIPTION
02/19/16	PERMIT SET
03/01/16	ADDENDUM #1

A5.01

PROJECT NO.: 15225