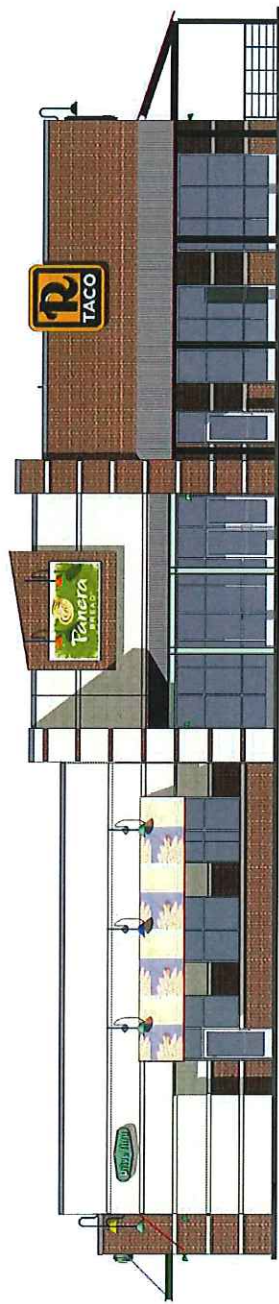




05 Dumpster Elevation
face brick to match bldg with
R Panel painted gates



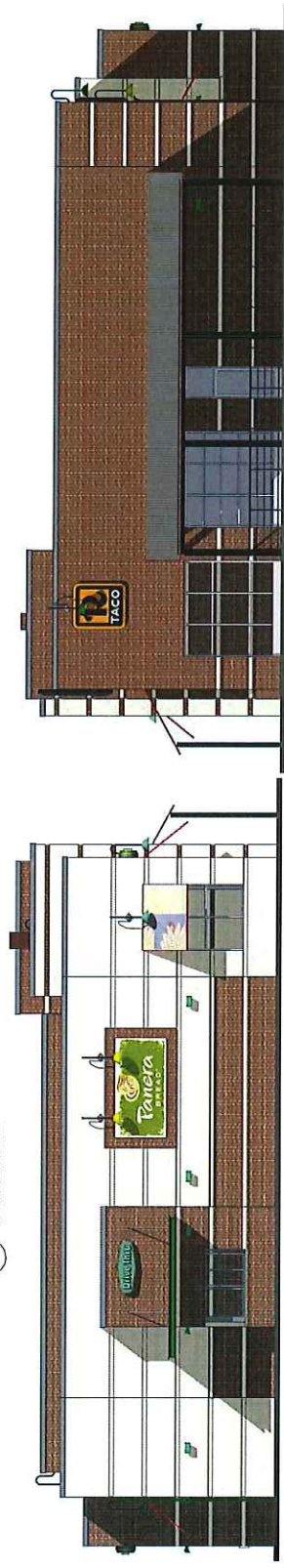
06 Retaining Wall
face brick to match bldg
on concrete retaining wall



01 Front Elevation (West)
SCALE: 1:111.11



02 Rear Elevation (East)
SCALE: 1:115.24



04 Side Elevation Drive Thru (North)
SCALE: 1:149.01

03 Side Elevation (South)
SCALE: 1:123.57

Primary Masonry Brick One:
Fonterra Brick V170 (required by Deed)



Secondary Masonry Brick One:
Acme Ridgemar

Facade	Total Area (A)	Area of Canopies (B)	Area of Canopies (B) / Total Area (A) (%)	Primary Masonry Area (C) / Total Area (A) (%)	Secondary Masonry Area (D) / Total Area (A) (%)	Notes
North	1827	60	3.3%	1767	1767	100.0%
South	1827	60	3.3%	1767	1767	100.0%
East	2405	24	1.0%	2381	2381	100.0%
West	2475	60	2.4%	2415	2415	100.0%

Case S160302 Panera & Rusty Taco (Center & Westchase)

Item	Standard	Regulated	Provided	Meets	Notes
Building Area	PD 173	N/A	6500 sf	Yes	PD 173 STATES 20,000 SF
Building Height	UDC/GR-1	GR-1	20'	Yes	Real Restaurant
Front Setback	UDC/GR-1	GR-1	15'-0"	Yes	Real Restaurant
Side Setback	UDC/GR-1	GR-1	15'-0"	Yes	Real Restaurant
Front Yard Coverage	PD 173	12,000-sf	7021-sf (1.6324)	Yes	Real Restaurant
Lot Area	PD 173	12,000-sf	7021-sf (1.6324)	Yes	Real Restaurant
Lot Width	PD 173	150-ft	150-ft	Yes	Real Restaurant
Front Setback	PD 173	15'-0"	15'-0"	Yes	Real Restaurant
Side Setback	PD 173	15'-0"	15'-0"	Yes	Real Restaurant
Min Landscaping	UDC/GR-1	100%	100%	Yes	Real Restaurant
Min Landscaping	UDC/GR-1	100%	100%	Yes	Real Restaurant
Parking	UDC/GR-1	65	86	Yes	Real Restaurant
HC Parking	UDC/GR-1	3	4	Yes	Real Restaurant

PANERA RETAIL
WESTCHESTER EAST ADDITION
LOT 5, BLOCK 3
Being 1.624 Acres in the
City of Grand Prairie, Dallas County, Texas

Planning Department
Case # S160302

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Panera Bread & Rusty Taco Shell

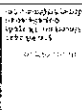
Grand Prairie, Texas



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Grand Prairie, Texas

14/11/2004

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Being 1.624 Acres in the
menis J. Tone Survey Abstract No. 1460
 City of Grand Prairie, Dallas County, Texas
 Case #S160302

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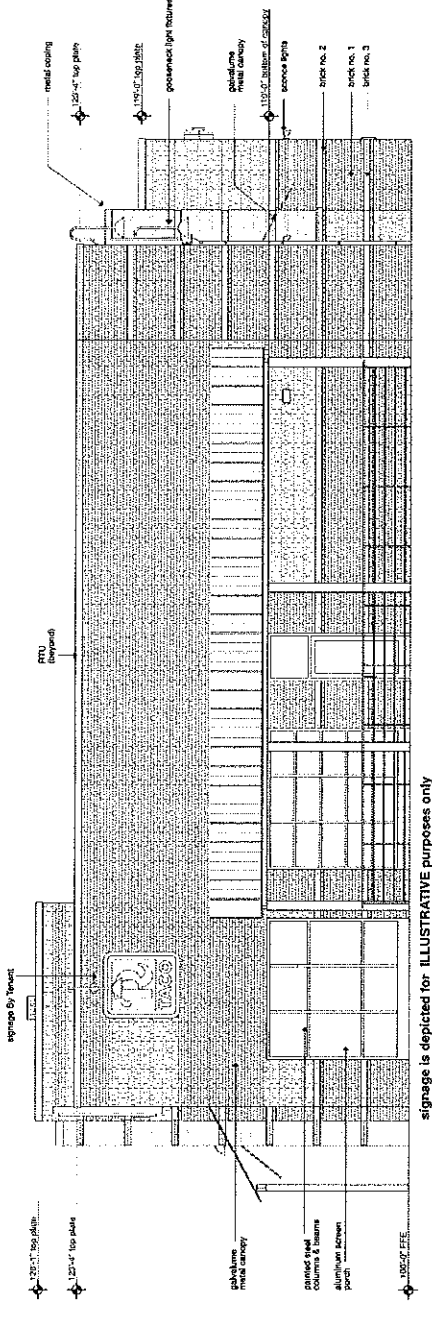
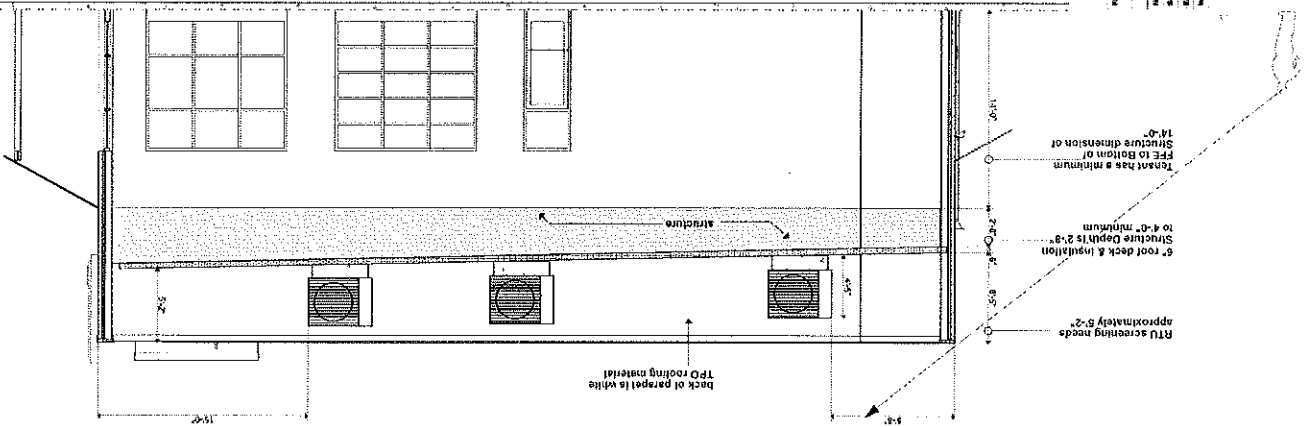
Front Elevation (West)



Rear Elevation (East)
SCALE: 1/4" = 1'-0"

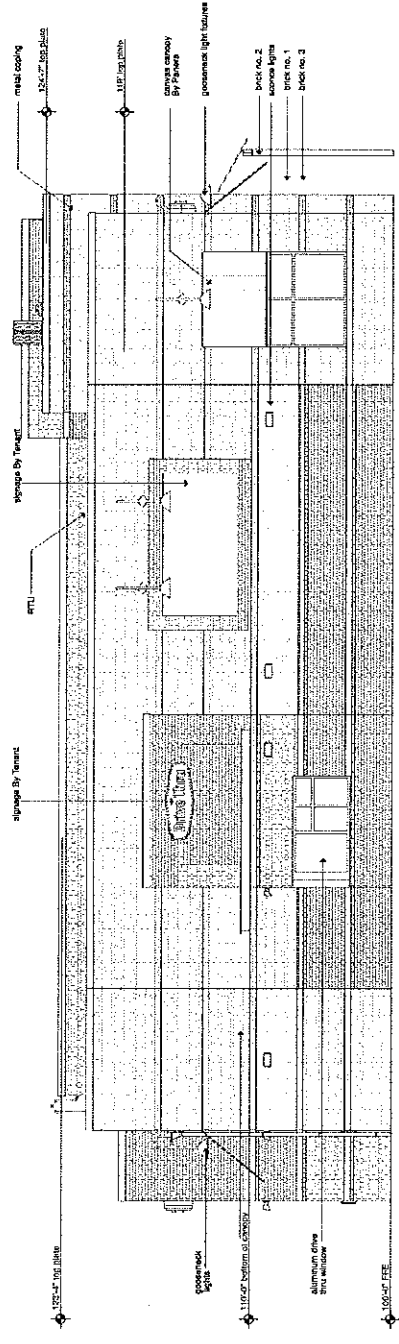
The Data Summary				Standard	Prevalence	Notes
1	1	1	1	NA	60000	Notes
2	2	2	2	NA	250	Notes
3	3	3	3	NA	250	Notes
4	4	4	4	NA	250	Notes
5	5	5	5	NA	250	Notes
6	6	6	6	NA	250	Notes
7	7	7	7	NA	250	Notes
8	8	8	8	NA	250	Notes
9	9	9	9	NA	250	Notes
10	10	10	10	NA	250	Notes
11	11	11	11	NA	250	Notes
12	12	12	12	NA	250	Notes
13	13	13	13	NA	250	Notes
14	14	14	14	NA	250	Notes
15	15	15	15	NA	250	Notes
16	16	16	16	NA	250	Notes
17	17	17	17	NA	250	Notes
18	18	18	18	NA	250	Notes
19	19	19	19	NA	250	Notes
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22	22	22	22	NA	250	Notes
23	23	23	23	NA	250	Notes
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94	94	94	94	NA	250	Notes
95	95	95	95	NA	250	Notes
96	96	96	96	NA	250	Notes
97	97	97	97	NA	250	Notes
98	98	98	98	NA	250	Notes
99	99	99	99	NA	250	Notes
100	100	100	100	NA	250	Notes

Variable	Total Area (A)	Case 5 (10000 Pavers & 8 Tiles (Curtain & Windows))		Primary Economy			Secondary Economy			Euros
		Area of Openings (B)	Ratioed Area (A-B) (C)	SP	%	%	SP	%	%	
North	1007	0	1536	402	42.30%	100	25.70%	1536	100.00%	
East	1073	23	1050	537	51.04%	141	5.46%	1050	100.00%	
West	2409	64	2445	1568	63.79%	227	54.26%	1568	100.00%	



01 Side Elevation Rusty Taco (South)
SCALE: 1/4" = 1'-0"

signage is depicted for ILLUSTRATIVE purposes only



02 Side Elevation Panera (North)
SCALE: 1/4" = 1'-0"

signage is depicted for ILLUSTRATIVE purposes only

Case 5160302 Panera & A Taco (Garner & Westchase)

Parcel	Tract Area (A)	Area of Open Space (B)	Resultant Area A-B (C)	Primary Boundary	Boundary	Notes
North	1827	40	1386	100%	100%	100%
South	1823	211	1611	100%	100%	100%
East	2409	44	2453	100%	100%	100%
West	2415	698	1886	100%	100%	100%

Site Data Summary

Item	Specified	Required	Provided	Meets	Notes
Building Area	1007.173	NA	1600.1	Yes	PO 173 STAYS IN 1734045
Building Use	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
Expenditure Use	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
Other Area Ratio	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
Lot Area	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
Lot Depth	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
Front Setback	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
Side Setback	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
Rear Setback	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
Independence Code	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
Driveway	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045
AC 7-14-16	1007.173	1007.173	1007.173	Yes	PO 173 STAYS IN 1734045

PANERA RETAIL
WESTCHESTER EAST ADDITION
LOT 5, BLOCK 3

Being 1.624 Acres in the
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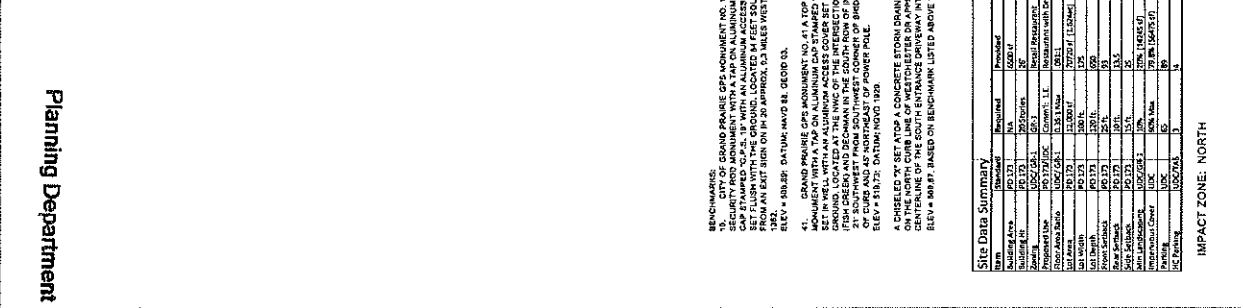
Panera Bread & Rusty Taco Shell
Grand Prairie, Texas

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