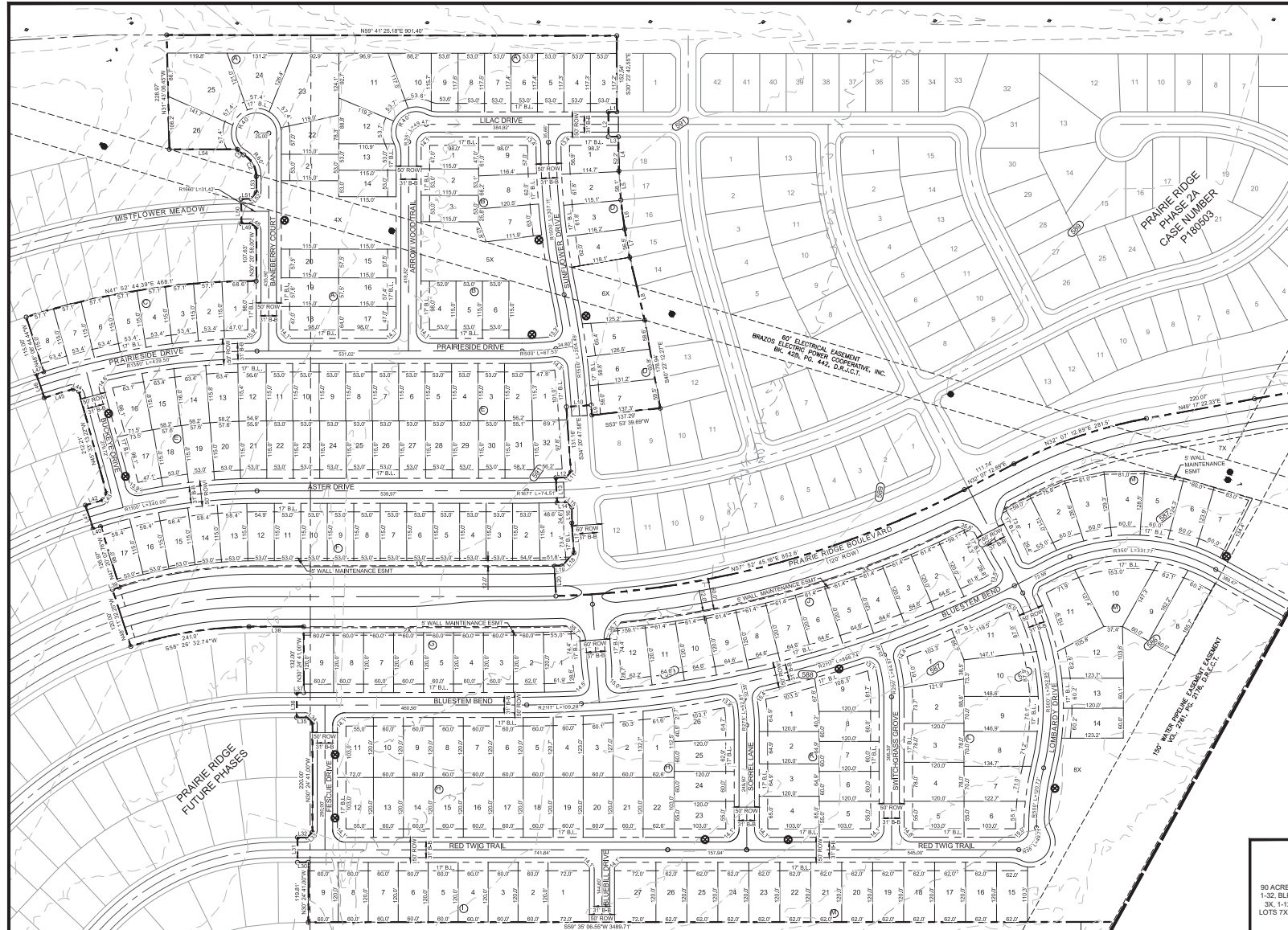
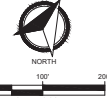
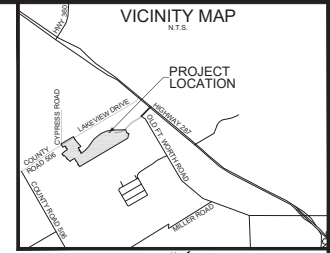


Exhibit B - Preliminary Plat
Page 1 of 2



MATCHLINE SHEET 2



LEGEND

- PHASE LINE
- EXISTING 10' UTILITY EASEMENT
- 100' YR FLOODPLAIN BOUNDARY
- EXISTING POWER POLE
- PROPOSED LOCATION OF MAIL KIOSKS

- NOTES:
1. NO LOTS WILL BE SERVED BY A SEPTIC SYSTEM.
 2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN PER FIRM PANEL # 48139C0025 F, DATED JUNE 13, 2013. THE PROPERTY LOCATED IN ELLIS COUNTY, TEXAS IN FLOOD ZONE X.
 3. ALL CORNER CLIPS TO BE 10'10", EXCEPT ALONG PRAIRIE RIDGE BOULEVARD AND COUNTY ROAD 306 WHERE THEY WILL BE 25'52".
 4. ALL CURB RADI AT INTERSECTIONS TO BE 25', EXCEPT ALONG PRAIRIE RIDGE BOULEVARD WHERE THEY WILL BE 50'.
 5. COMMON LOTS 1X, 2X, AND 3X ARE ALSO DESIGNATED UTILITY EASEMENTS.
 6. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN PER FIRM PANEL # 48139C0025 F, DATED JUNE 13, 2013. THE PROPERTY LOCATED IN ELLIS COUNTY, TEXAS IN FLOOD ZONE X.

Certificate of approval by the Department of Development of Ellis County, Texas.

Approved this date, the ____ day of _____, 2018.

Department of Development Director

A PRELIMINARY PLAT FOR
PRAIRIE RIDGE, PHASE 2B
90 ACRES CONTAINING LOTS 3-26, BLK A LOTS 1-8, BLK B LOTS 1-8, BLK C LOTS 1-7, BLK D LOTS 1-32, BLK E LOTS 1-7, BLK F LOTS 1-7, BLK G LOTS 1-26, BLK H LOTS 4X, 1-8, BLK I LOTS 3X, 1-12, BLK J LOTS 1-9, BLK K LOTS 1-11, BLK L LOTS 5X, 6X, 1-27, BLK M LOTS 6X, 1-8, BLK N LOTS 7X, 1-49, BLK O LOTS 1-12, BLK P LOTS 1-18, BLK Q LOTS 1-18, BLK R LOTS 1-7, BLK S FOR A TOTAL OF 309 RESIDENTIAL LOTS AND 7 COMMON LOTS
GRAND PRAIRIE, ELLIS COUNTY, TEXAS

MINIMUM BUILDING SETBACKS

	FRONT YARD	BACK YARD	SIDEYARD*
PR-SF1	25	20	6
PR-SF2	17	20	5
PR-SF3	17	20	6

*MINIMUM SIDEYARD BUILDING SETBACKS FOR CORNER LOTS ADJACENT TO SIDE STREETS SHALL EQUAL FRONT YARD SETBACK.

LAND USE SUMMARY

PHASE	PR-SF 1 (80'x130') (MIN 10%)		PR-SF 2 (60'x120') (MIN 25%)		PR-SF 3 (53'x114') (MAX 65%)		OPEN SPACE (MIN 10%)	ROW	TOTAL
	LOTS	ACREAGE	LOTS	ACREAGE	LOTS	ACREAGE			
EXISTING	-	-	82	13.6	108	15.1	9.3	25.7	190
PHASE 2B	-	-	103	17.0	206	28.8	15.1	29.0	309
FUTURE	459	109.6	969	159.2	2469	373.5	106.3	403.1	4091
TOTAL	459	109.6	1148	189.8	2983	417.4	120.6	457.8	4590
PERCENTAGE	20% - (459 LOTS / 4590 LOTS)	25% - (1148 LOTS / 4590 LOTS)	65% - (2983 LOTS / 4590 LOTS)	10% - (130.6 AC / 1305.3 AC)					

OWNER / DEVELOPER
NAME: PRAIRIE RIDGE DEVELOPMENT CORP.
ADDRESS: 10210 N CENTER EXPY, SUITE 300 DALLAS, TEXAS 75231
PHONE: (972) 385-4100
FAX: (972) 259-7383
CONTACT: KYLE J. KRUPPA
EMAIL: KKRUPPA@PROVIDENTREALTY.NET

PLANNER / ENGINEER / SURVEYOR
PELTON
LAND SOLUTIONS
TEXAS REGISTRATION ENGINEERING FIRM NO. 12027
1605 DOWNEY BLVD, SUITE 200, FORT WORTH, TEXAS 76102
PHONE: (817) 350-1000

DATE: AUGUST 2018
PELTON PROJECT #: PRA18003.02
CITY CASE #: P181005

DESIGNED: BAW
DRAWN: MCM
REVIEWER: ESH

SHEET
1 of 2

Exhibit B - Preliminary Plat
Page 1 of 2
PRAIRIE RIDGE, PHASE 2B - PRELIMINARY PLAT



Line #	Line Table		Distance
	Bearing		
L28	S30° 24' 41.00"E	120.0	
L29	S30° 24' 52.27"E	214.8	
L30	S59° 35' 19.00"W	11.6	
L31	N30° 24' 41.00"W	50.0	
L32	N59° 35' 19.00"E	20.0	
L33	N14° 35' 19.00"E	14.1	
L34	N75° 24' 41.00"W	21.4	
L35	S59° 35' 19.00"W	11.6	
L36	N30° 24' 41.00"W	50.0	
L37	S59° 35' 19.00"E	13.8	
L38	S59° 35' 19.00"W	109.2	
L39	N42° 13' 36.93"E	14.5	
L40	S42° 14' 40.56"W	16.3	
L41	N48° 11' 32.25"S	50.0	
L42	N42° 44' 12.50"E	36.4	
L43	N00° 56' 37.98"E	14.7	
L44	S81° 22' 00.13"W	12.0	
L45	S42° 41' 14.78"W	60.7	
L46	N48° 44' 47.26"W	50.0	
L47	N41° 33' 57.29"E	15.3	
L48	N83° 10' 27.31"W	12.0	
L49	S58° 51' 12.17"W	19.8	
L50	N31° 29' 42.45"E	49.6	
L51	N58° 34' 24.39"S	20.0	
L52	N09° 34' 09.52"E	16.4	
L53	N30° 26' 04.16"W	32.0	
L54	S59° 39' 02.00"W	136.1	

VICINITY MAP
N.T.S.

PROJECT LOCATION

Highway 28

Loc. 11, Highway 28

County Road 96

County Road 98

Miller Road

Lakeview Drive

Wynne Road



 PHASE LINE
 PROPOSED 10' UTILITY EASEMENT
 100' YR FLOODPLAIN BOUNDARY
 EXISTING POWER POLE
 PROPOSED LOCATION OF MAIL KIOSKS

- Certificate of approval by the Department of Development of Ellis County, Texas.

Approved this date, the _____ day of _____, 2018.

Department of Development Director

90 ACRES CONTAINING LOTS 3-26, BLK A; LOTS 9, BLK B; LOTS 1-8, BLK C; LOTS 1-7, BLK D; LOTS 1-32, BLK E; LOTS 1X, 1-17, BLK F; LOTS 2X, 1-9, BLK G; LOTS 1-26, BLK H; LOTS 4X, 1-9, BLK I; LOTS 3X, 1-12, BLK J; LOTS 1-9, BLK K; LOTS 1-11, BLK L; LOTS 5X, 6X, 1-27, BLK M; LOTS 6X, 1-8, BLK N; LOTS 7X, 1-49, BLK O; LOTS 1-12, BLK P; LOTS 1-15, BLK Q; LOTS 1-18, BLK R; LOTS 1-7, BLK S FOR A TOTAL OF 309 RESIDENTIAL LOTS AND 7 COMMON LOTS

OWNER / DEVELOPER
NAME: PRA PRAIRIE RIDGE DEVELOPMENT CORP.
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PHONE: (972) 385-4100
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PLANNER / ENGINEER / SURVEYOR

 **PELTON**
LAND SOLUTIONS

TEXAS REGISTRATION ENGINEERING FIRM NO. 12207
10875 JOHN W. ELLIOTT DRIVE, SUITE 400, FRISCO, TEXAS 75033
FRISCO OFFICE PHONE: (469) 213-1800

DATE:	AUGUST 2018
PELTON PROJECT #:	PRA18003.02
CITY CASE #:	P181005

DESIGNED: BAW	SHEET 2 OF 2
DRAWN: MCM	
REVIEWER: ESH	

	FRONT YARD	BACK YARD	SIDEYARD*
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	LOTS	ACREAGE	LOTS	ACREAGE	LOTS	ACREAGE	ACREAGE	ACREAGE		
EXISTING -	-	-	82	13.6	108	15.1	9.3	25.7	120	63
PHASE 2B					206	28.8			369	96
FUTURE	459	109.6	1148	169.8	1715	24.5	106.2	426.3	4291	135
TOTAL	459	109.6	1148	169.8	2983	417.4	130.6	457.8	4590	130
PERCENTAGE	10% - (459 LOTS / 4590 LOTS) 25% - (1148 LOTS / 4590 LOTS) 65% - (2983 LOTS / 4590 LOTS) 10% - (130.6 AC / 1305.3 AC)									