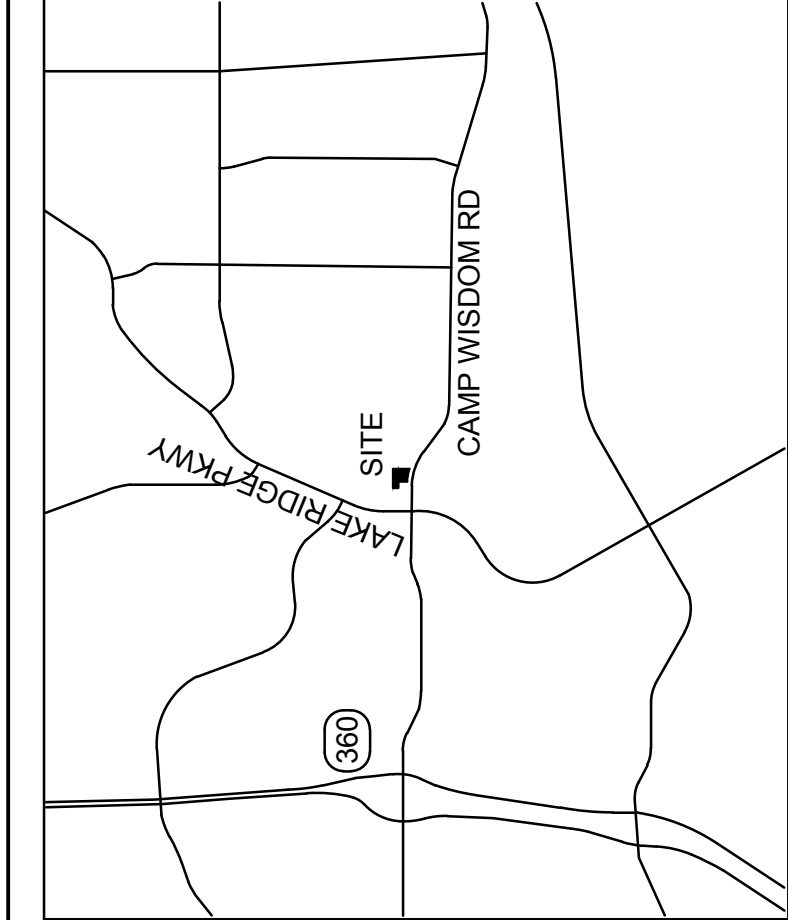


Exhibit C - Site Plan Package

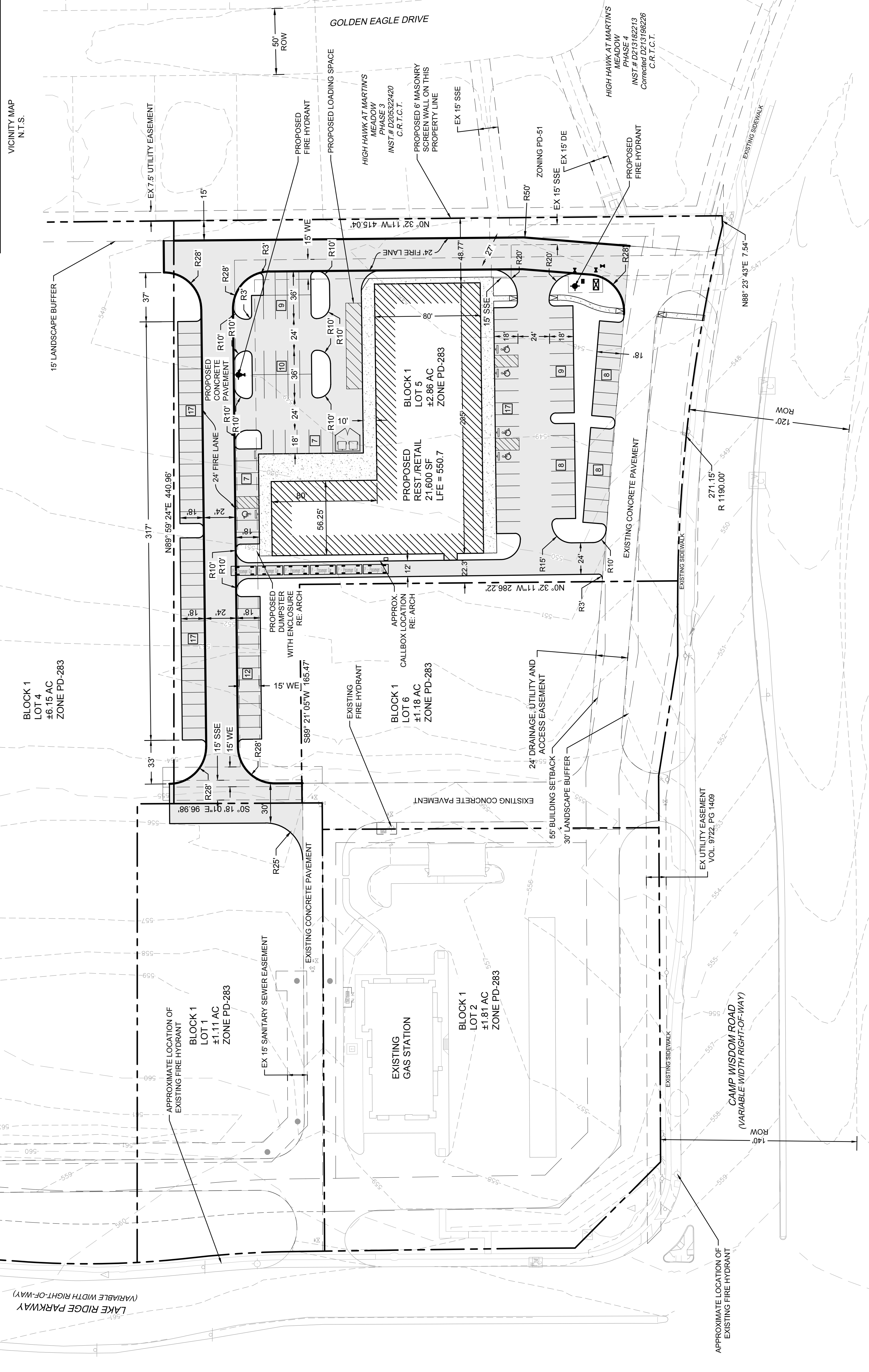
G:\JOB\REV15006_Camp_Wisdom_Civil\BUIL\ING 1\Construction Plans\REV15006.pd.dwg



OWNER / DEVELOPER:
VICTORY AT LAKE RIDGE, LLC
8001 LBJ FREEWAY, STE 400
DALLAS, TEXAS 75251
PHONE: 972-707-9555

SITE DATA SUMMARY			
Item	Standard	Required	Notes
Building Area	PD-283	20,900 SF	Yes
Building Height	PD-283	25' Max	Yes
Zoning	PD-283	GR	Yes
Proposed Use	PD-283/UDC	GR	Yes
Floor Area Ratio	PD-283	.35:1	0.17:1
Lot Area	PD-283	5,000 SF	124,557 SF
Lot Width	PD-283	50'	441'
Lot Depth	PD-283	100'	692'
Front Setback	PD-283	55'	55'
Rear Setback	PD-283	0'	0'
Side Setback	PD-283	30'	30'
Min. Landscaping	PD-283	5%	24%
Parking	UDC	146	129
HC Parking	ADA/TAS	5	5

DRC Approved parking reduction of 13 spaces



PROJECT BENCHMARKS

BM NO. 1 GRAND PRAIRIE GFS MONUMENT NO. 79 NORTH SIDE OF WEST CAMP WISDOM ROAD, APPROXIMATELY 400 FEET WEST OF LAKE RIDGE PARKWAY.

ELEVATION: 557.642

BM NO. 2 THE NORTHWEST CORNER OF A CURB INLET, AT BACK OF CURB ON THE EAST SIDE OF LAKE RIDGE PARKWAY, +/- 680 FEET NORTH OF THE INTERSECTION OF LAKE RIDGE PARKWAY AND CAMP WISDOM ROAD.

ELEVATION: 559.07

LEGEND

- PARKING STALL COUNT
- FIRE LANE STRIPPING
- CONCRETE PAVING
- SIDEWALK PAVING
- SIDEWALK RAMP

PARKING STALL TABLE		
	PROVIDED	REQUIRED
16,430 SF BUILDING	129	142
HANDICAP SPACES	5	5

8,200 SF OF RETAIL @ 1/275 = 30
8,200 SF OF RESTAURANT @ 1/100 = 82
4,500 SF OF GYM = 30

TYPICAL PARKING STALL DIMENSIONS

9' 18'

NOTES:

- TOTAL SITE ACREAGE = +/- 2.86 AC (COMMERCIAL).
- CURRENT ZONING IS PD-283.
- PERCENT OPEN SPACE = 24%.
- MATERIAL SURFACE IS CONCRETE.
- TRACT IS NOT AFFECTED BY 100-YEAR FLOODPLAIN PER FEMA - FLOOD INSURANCE RATE MAP NUMBER 48439C0370 K DATED SEPTEMBER 25, 2009, TARRANT COUNTY, TEXAS.
- DIMENSIONS ARE TO FACE OF CURB UNLESS UNLESS OTHERWISE NOTED.
- ALL RADII ARE 4' UNLESS OTHERWISE WISE NOTED.
- CONTRACTOR TO USE CITY OF GRAND PRAIRIE PAVING DETAILS.
- VEHICLE STACKING SHOWN INCLUDES STANDARD 20' LONG PASSENGER VEHICLE.



THESE DOCUMENTS ARE FOR SITE PLAN APPROVAL ONLY AND NOT INTENDED FOR CONSTRUCTION AND/OR BIDDING PURPOSES.



SCALE 1" = 40' @ 24"x36"

VICTORY AT LAKE RIDGE
RETAIL/RESTURANT #1

SITE PLAN

THE CITY OF GRAND PRAIRIE

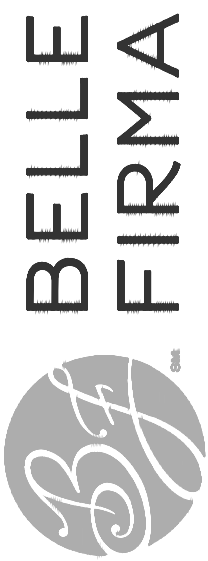


5751 KROGER DRIVE
KELLER, TX 76244
PHONE: 817-583-3590
TX TRADING 12207

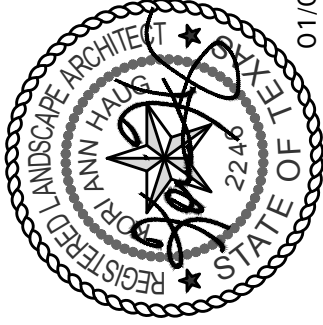
DESIGNED: JBD/KAK
DRAWN: JBD/KAK
CHECKED: LHM

CASE NUMBER
SU170105/S170102

SHEET
C101



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office



01/05/17

Exhibit C - Site Plan Package

Victory at Lake Ridge

Grand Prairie, Texas

Project Number: 16029
Issue Date: 11.29.2016
Drawn By: MGC
Checked By: KAH

Sheet Title:

LANDSCAPE PLAN

Sheet Number:

L1.01

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW TOPSOIL GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINISH CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TIGHTEN JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS. AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

THE CITY OF GRAND PRAIRIE, TEXAS - PD 283

- SITE LANDSCAPE REQUIREMENTS
- 5% of the total site to be landscaped.
 - A minimum of 75% of required landscape areas shall be in the front yard.
 - 40% of the required landscape area must be covered with grass, organic mulch, or live groundcover.
 - One (1) tree, 3" cal., per 500 s.f. of required landscape area.
 - One (1) shrub, 5 gal., per 50 s.f. of required landscape area. Up to 50% of required shrubs may be replaced by 3" cal. trees at a rate of ten (10) shrubs per one (1) tree.

Total Site Area: 124,603 s.f. (excludes dedicated F.O.W.)
Required 6,230 s.f. (5%) 31,705 s.f. (25%)
4,673 s.f. (75%) 15,704 s.f.
2,492 s.f. (40%) 30,696 s.f.
(131) trees, 3" cal. (15) trees, 3" cal.
(125) shrubs, 5 gal. (147) shrubs, 5 gal.

STREET FRONTAGE REQUIREMENTS

- One (1) tree, 3" cal., per 50 l.f. of street frontage

CAMP WISDOM ROAD: 279 l.f.

Required 139 trees, 3" cal.
Provided (6) trees, 3" cal.
(6) trees, 3" cal.

PARKING AREA REQUIREMENTS

- One (1) tree, 3" cal., per 20 parking spaces. Up to 50% of the required parking lot trees may be replaced by 5 gal. shrubs at a rate of one (1) tree per ten (10) shrubs. Parking areas shall be screened by a 36" height solid screen.

Total Parking Spaces: 125

Required 37 trees, 3" cal.
Provided (9) trees, 3" cal.
36" ht. screen 36" ht. screen

RESIDENTIAL SCREENING REQUIREMENTS

- For non-residential development that adjoins and is contiguous with a residential zoning district, one (1) native shade tree, 3" cal., shall be provided every fifteen (15) foot on center.

Linear footage: 415 l.f.

Required (28) trees, 3" cal.
Provided (28) trees, 3" cal.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINISH CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE REVIVIFIED WITH A WEATHER-BASED IRRIGATION AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR PER THE CITY REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

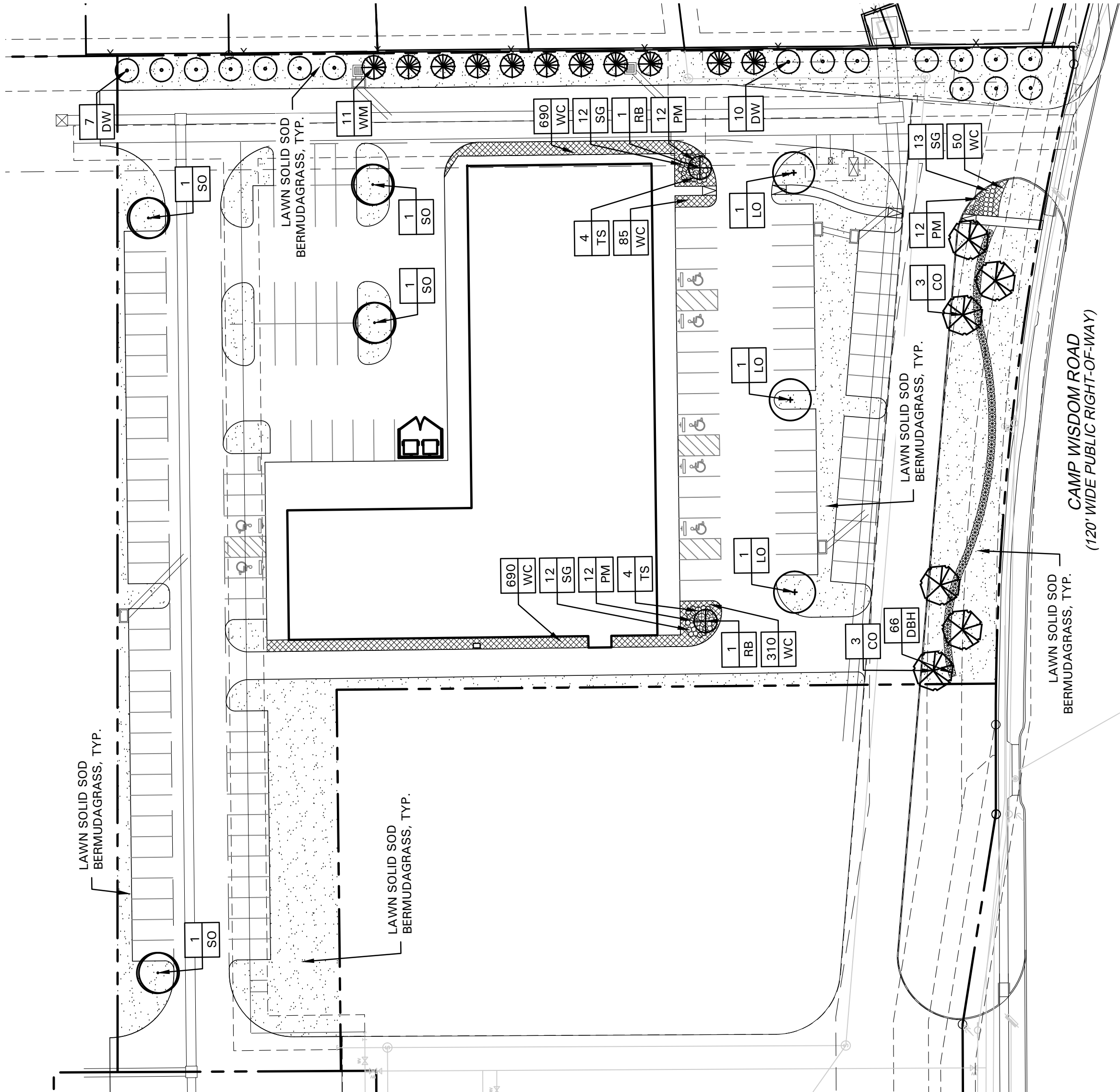
- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH AND DEBRIS. CONTRACTOR SHALL REMOVE SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
CO	<i>Quercus muhlenbergii</i>	Chinkapin Oak	6	3" cal.	container grown, 12" ht., 4" spread, 4" branching ht., matching
DW	<i>Chilopsis linearis</i>	Desert Willow	17	3" cal.	container grown, 3-5 trunk, 8" ht. min., 4" spread min.
LO	<i>Quercus virginiana</i>	Live Oak	3	3" cal.	container grown, 12" ht., 4" spread, 4" branching ht., matching
RB	<i>Cercis canadensis 'Okelahome'</i>	Oklahoma Redbud	2	3" cal.	container grown, 8" ht., 4" spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	4	3" cal.	container grown, 12" ht., 4" spread, 4" branching ht., matching
WM	<i>Myrica califera</i>	Southern Wax Myrtle	11	3" cal.	container grown, 8" ht. full to base, 3' spread

DBH	<i>Ilex cornuta 'Burfordii Nana'</i>	Dwarf Burford Holly	66	5 gal.	container full, 24" spread, 36" o.c.
PM	<i>Muhlenbergia filipes</i>	Purple Muhly	36	5 gal.	container full, 24" o.c.
SG	<i>Salvia greggii 'Red'</i>	Salvia Greggii 'Red'	37	5 gal.	container full, 20" spread, 24" o.c.
TS	<i>Leucophyllum frutescens 'Silver Cloud'</i>	Dwarf Texas Sage 'Silver Cloud'	8	5 gal.	container full, 20" spread, 36" o.c.
WC	<i>Eucynthus fortunei 'Coloratus'</i>	Wintercreeper	1825	4" pots	container (3) 12" runners min., 12" o.c.
	<i>Cynodon dactylon</i>	Common Bermudagrass			refer to notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDEES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



OWNER / DEVELOPER:
VICTORY AT LAKE RIDGE, LLC
8001 LBJ FREEWAY, STE. 400
DALLAS, TEXAS 75251
PHONE: 972-707-9555

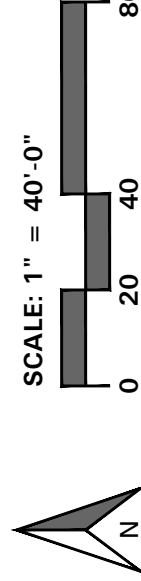
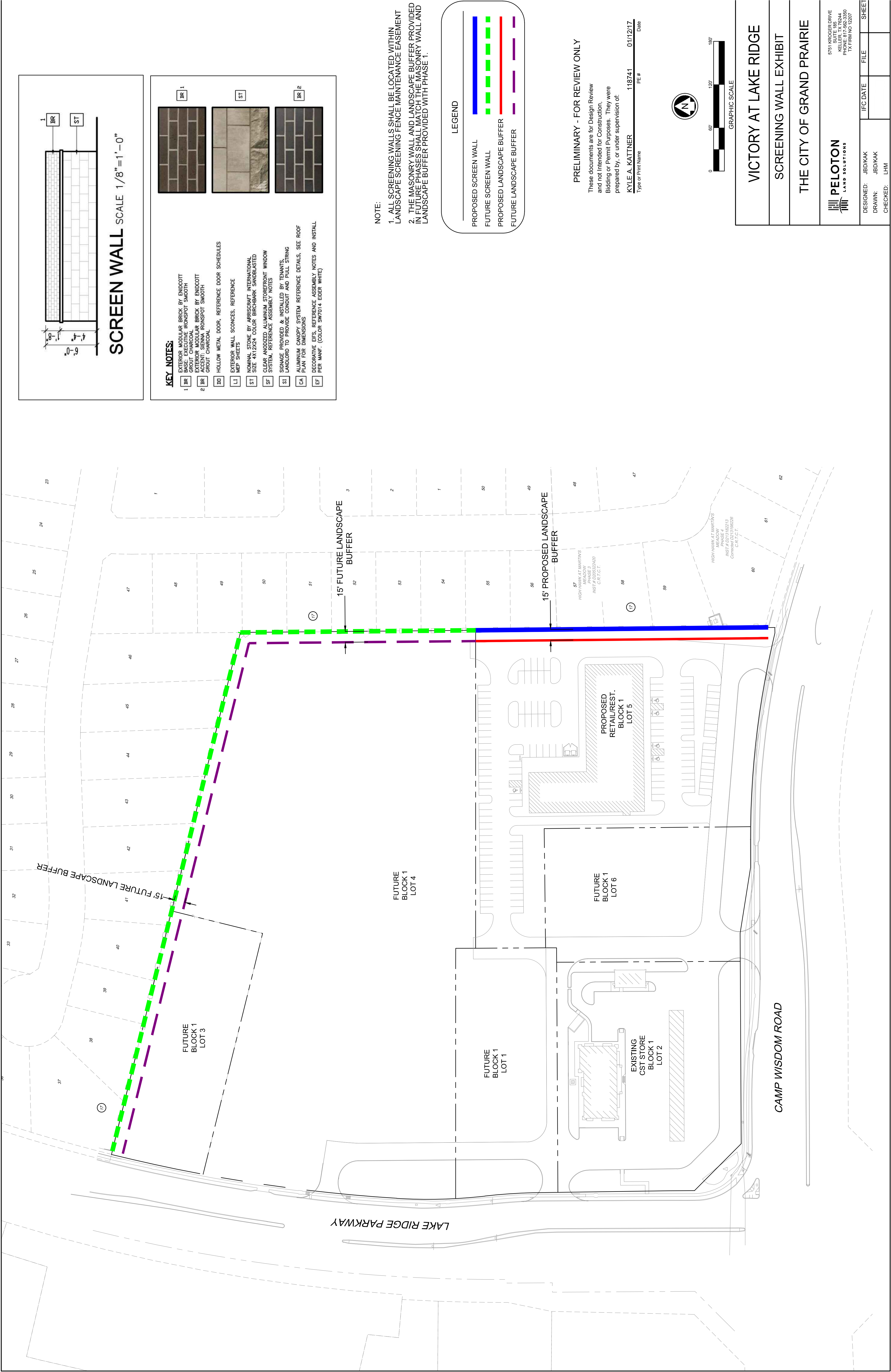
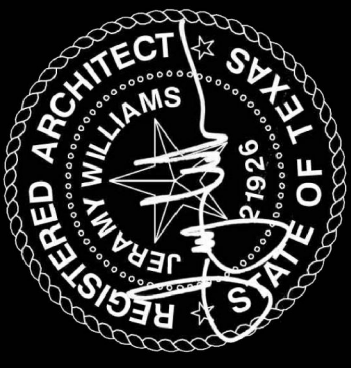


Exhibit C - Site Plan Package





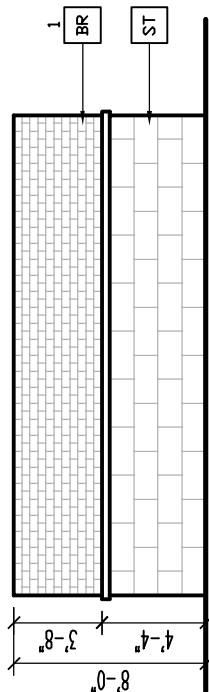
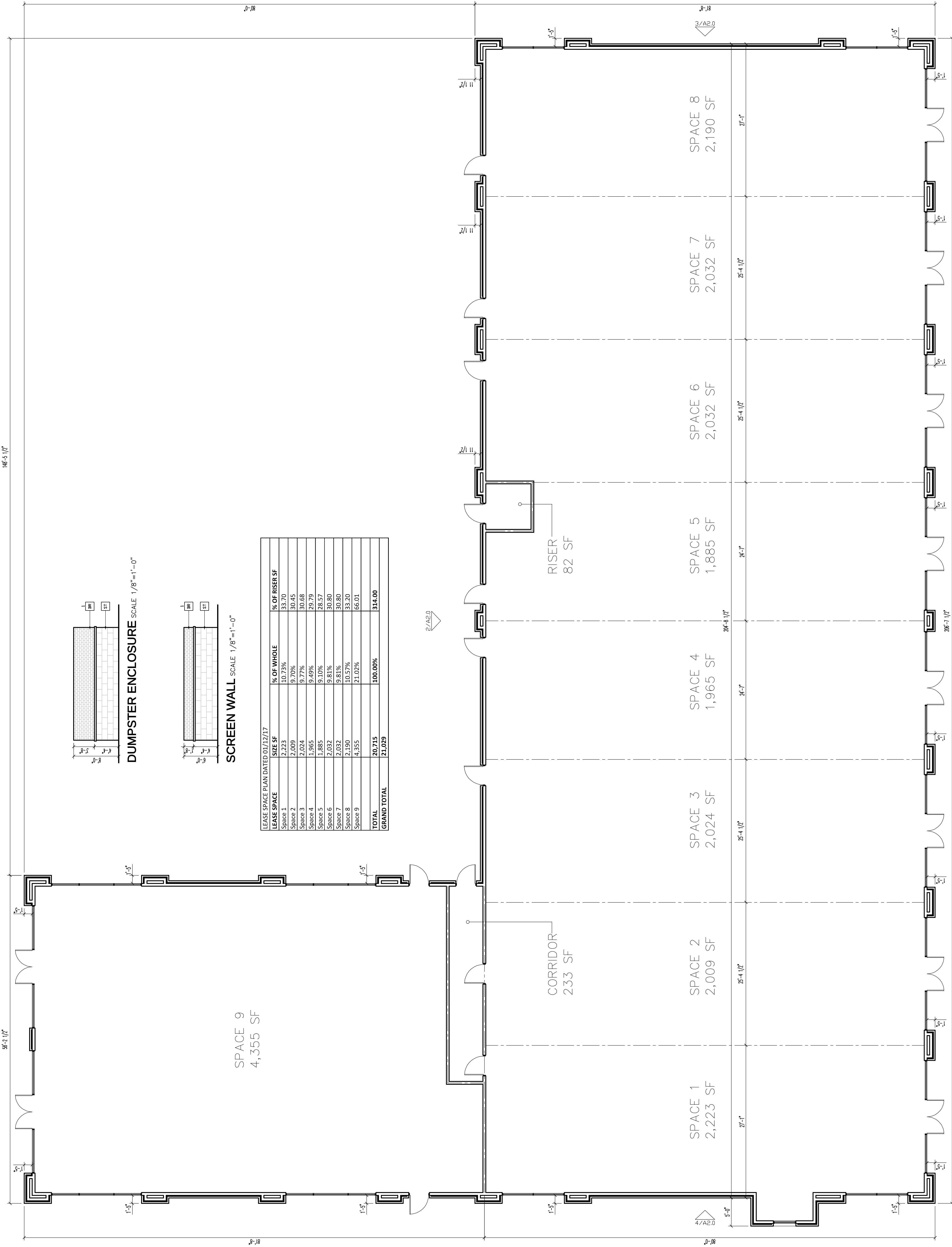
ROGUE
ARCHITECTS

515 MAIN STREET SUITE 300
FORT WORTH, TEXAS 76102
817.620.0433 o 817.705.3387 c

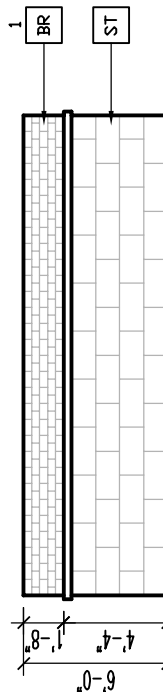
VICTORY | GROUP

PROJECT NAME VICTORY SHOPS AT LAKE RIDGE	DESCRIPTION PROPOSED MULTI-TENANT SHELL BUILDING
	CASE NUMBER SU170105/S170102
PROJECT ARCHITECTS ROGUE ARCHITECTS	REVIEWED JAM
	FIRST ISSUE DATE 01/12/2017
JOB NAME SITE ADDRESS LAKE RIDGE PKWY AND WEST CAMP WISDOM RD, GRAND PRAIRIE, TX 75052	

A1-0



DUMPSTER ENCLOSURE SCALE 1/8"=1'-0"



SCREEN WALL SCALE 1/8"=1'-0"

PROJECT NAME	PROPOSED MULTI-TENANT SHELL BUILDING
LOCATION	LAKE RIDGE PARKWAY AND WEST CAMP WISDOM RD., GRAND PRAIRIE, TX 75052
PROJECT TYPE	REVIEWED
ISSUE DATE	01/12/2017
PROJECT NUMBER	CS1710105/S1710102
DESCRIPTION	PROPOSED MULTI-TENANT SHELL BUILDING
PROJECT NAME	PROJECT SHOPS AT LAKE RIDGE
ISSUE DATE	2017
PROJECT TYPE	REVIEWED
ISSUE DATE	01/12/2017
PROJECT NUMBER	CS1710105/S1710102
DESCRIPTION	PROPOSED MULTI-TENANT SHELL BUILDING
LOCATION	LAKE RIDGE PARKWAY AND WEST CAMP WISDOM RD., GRAND PRAIRIE, TX 75052
PROJECT NAME	PROJECT SHOPS AT LAKE RIDGE

Facade	Total Area	Area of Openings	Resultant Area	Primary Masonry (Brick)		Secondary Masonry (Stone)		EIFS	
				SF	%	SF	%	SF	%
North	5402	706	4696	1075	22.89%	1075	22.89%	458	9.75%
South	5351	1920	3431	3190	75.49%	364	10.61%	477	13.90%
West	4205	699	3506	2622	74.79%	445	12.69%	439	12.52%
East	4205	698	3507	2631	75.02%	437	12.46%	439	12.51%

GENERAL NOTES:

BACKSIDE OF PARAPET VISIBLE FROM RESIDENCES SHALL BE PAINTED A NEUTRAL EARTH TONE COLOR.

BUILDING ELEVATIONS FOR THIS SITE PLAN ESTABLISHES DESIGN FOR THE CENTER. SUBSEQUENT PHASES SHALL USE BUILDING MATERIALS, DESIGN, AND ARCHITECTURAL FEATURES TO CONTRIBUTE TO A UNIFIED DESIGN AND CREATE A COHESIVE CENTER.

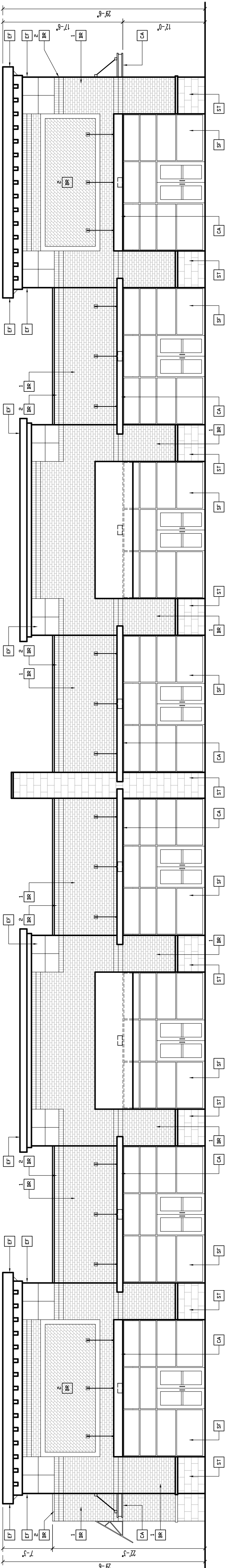
NO ROOF MOUNTED EQUIPMENT WILL BE VISIBLE FROM THE PUBLIC RIGHT OF WAY.

KEY NOTES:

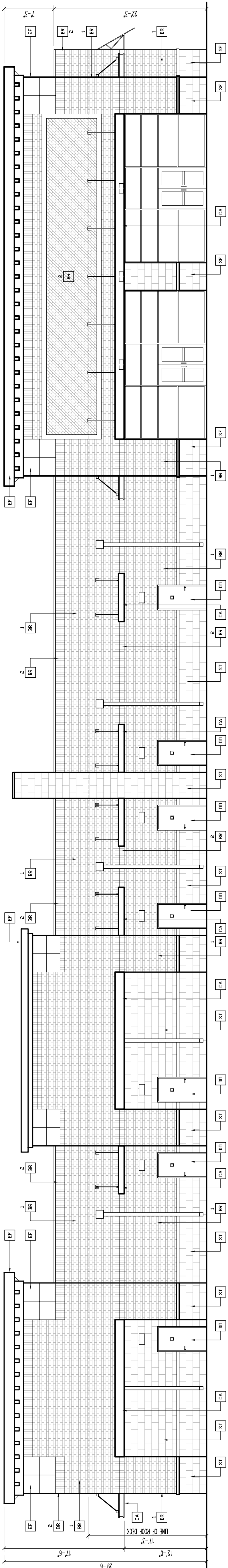
- [illegible]



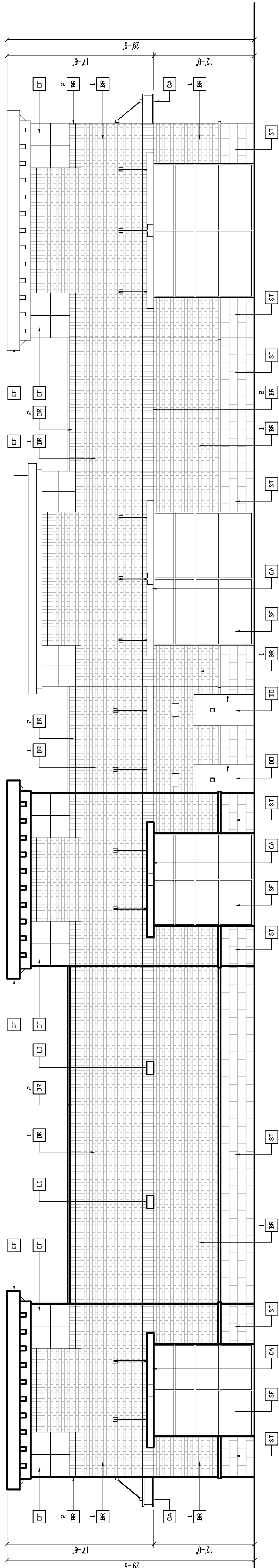
1 SOUTH ELEVATION
FRONT ELEVATION SCALE 1/8"=1'-0"



2 NORTH ELEVATION
BACK ELEVATION SCALE 1/8"=1'-0"



3 EAST ELEVATION



4 WEST ELEVATION
LEFT ELEVATION SCALE 1/8"=1'-0"

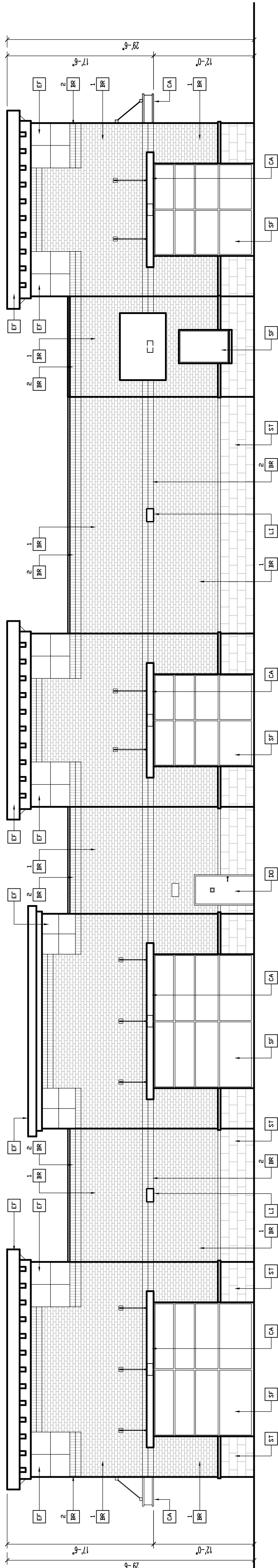
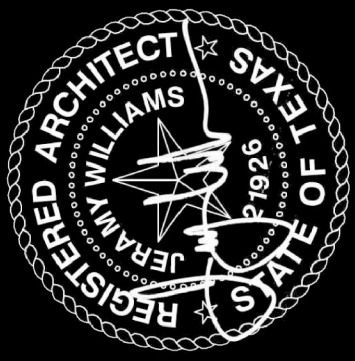


Exhibit C - Site Plan Package

A2-1

PROJECT NAME	PROJECT SHOPS AT LAKE RIDGE	PROPOSED MULTI-TENANT SHELL BUILDING REVIEWED JAM 01/28/2017	JOB NAME	LAKE RIDGE PKWY AND WEST CAMP WISDOM RD, GRAND PRAIRIE, TX 75052
DESCRIPTION			SITE ADDRESS	
PROTOTYPE ISSUE DATE	2017		FIRST ISSUE DATE	01/28/2017
PROJECT NAME	ROUSE ARCHITECTS			

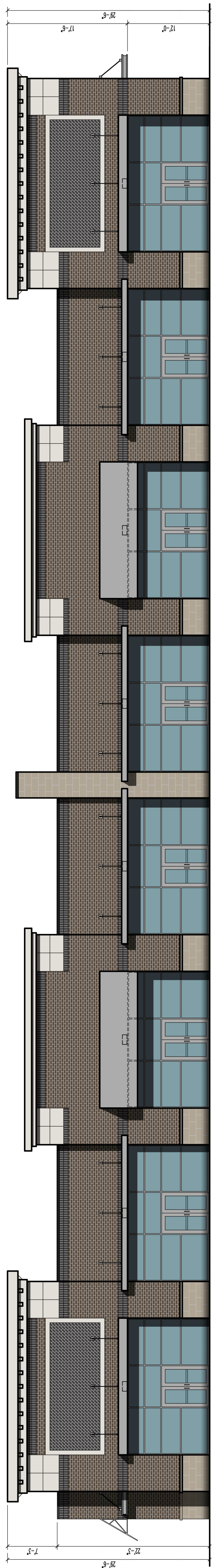
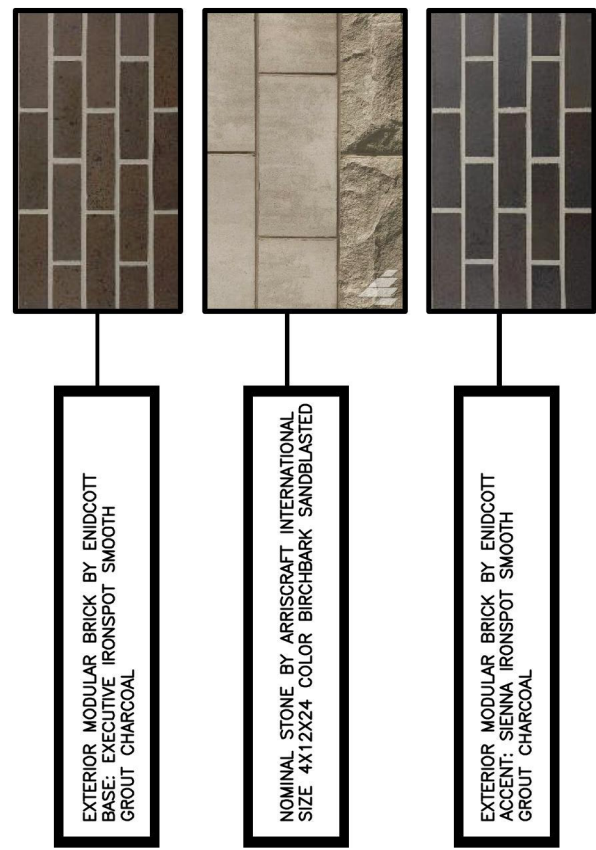


513 MAIN STREET, SUITE 300
FORT WORTH, TEXAS 76102
817.820.0433 o 817.705.3387 c

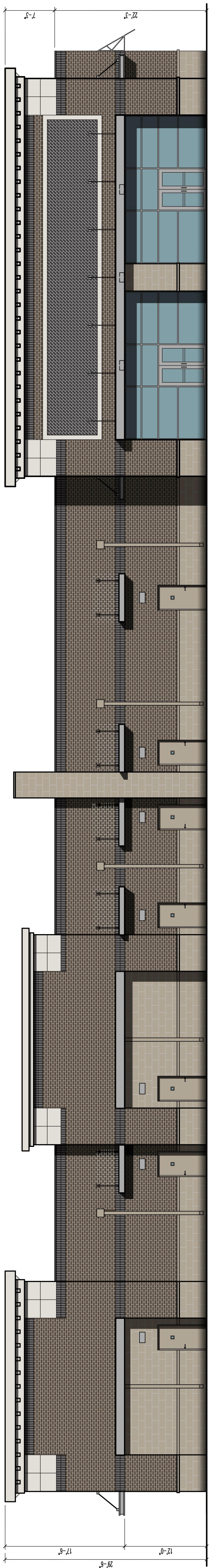
VICTORY | GROUP

Exploide	Total Area	Area of Openings	Resultant Area		Primary Masonry (Brick)		Secondary Masonry (Stone)		EIFS	
			SF	%	SF	%	SF	%	SF	%
Florida	5402	706	4696	3163	75.36%	1075	22.89%	458	9.75%	
North	5521	3431	1920	3451	75.49%	364	10.61%	477	13.90%	
South	4205	699	3506	2622	74.79%	445	12.69%	439	12.52%	
West	4205	698	3507	2631	75.02%	437	12.46%	439	12.52%	

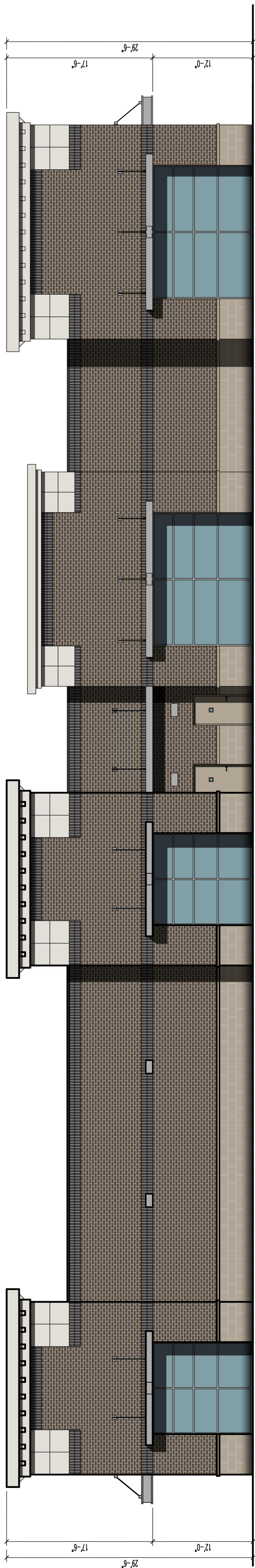
GENERAL NOTES:
BACKSIDE OF PARAPET VISIBLE FROM RESIDENCES SHALL BE PAINTED A NEUTRAL EARTH TONE COLOR.
BUILDING ELEVATIONS FOR THIS SITE PLAN ESTABLISHES DESIGN FOR THE CENTER. SUBSEQUENT PHASES SHALL USE BUILDING MATERIALS, DESIGN, AND ARCHITECTURAL FEATURES TO CONTRIBUTE TO A UNIFIED DESIGN AND CREATE A COHESIVE CENTER.
NO ROOF MOUNTED EQUIPMENT WILL BE VISIBLE FROM THE PUBLIC RIGHT OF WAY.



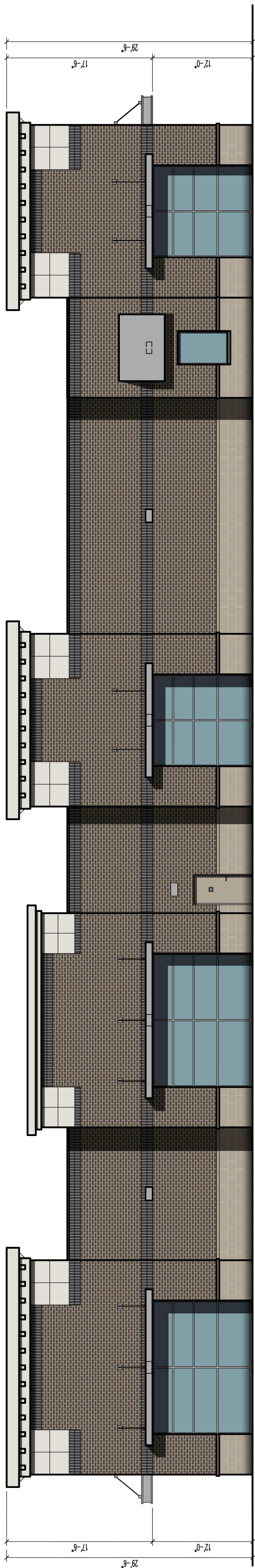
1
FRONT ELEVATION
SCALE 1/8"=1'-0"
SOUTH ELEVATION



2 NORTH ELEVATION
BACK ELEVATION
SCALE 1/8"=1'-0"



3 EAST ELEVATION
RIGHT ELEVATION SCALE 1/8"=1'-0"



4 WEST ELEVATION
LEFT ELEVATION SCALE 1/8"=1'-0"